

LOCAL REVIEW BODY

7 NOVEMBER 2018

PLANNING APPLICATION FOR REVIEW

**DARREN BLACK
CONVERSION OF OUTBUILDING TO A DWELLINGHOUSE AT
AUCHENFOYLE FARM, AUCHENFOIL ROAD, KILMACOLM (17/0415/IC)**

Contents

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- 12. Suggested conditions should planning permission be granted on review**

- 1. PLANNING APPLICATION DATED 27 DECEMBER 2017 TOGETHER WITH PLANS AND LOCATION PLAN**



Municipal Buildings Clyde Square Greenock PA15 1LY Tel: 01475 717171 Fax: 01475 712 468 Email: devcont.planning@inverclyde.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100079879-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- ☒ Application for planning permission (including changes of use and surface mineral working).
- ☐ Application for planning permission in principle.
- ☐ Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- ☐ Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Converting existing dilapidated food processing and store, into a family dwelling. inclusive of taking down and removing the former milk parlour, to enhance the amenity of the internal shared courtyard.

Is this a temporary permission? *

☐ Yes ☒ No

If a change of use is to be included in the proposal has it already taken place?

☐ Yes ☒ No

(Answer 'No' if there is no change of use.) *

Has the work already been started and/or completed? *

☒ No ☐ Yes – Started ☐ Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Eraldo Architects Limited		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Eraldo	Building Name:	
Last Name: *	Murphy	Building Number:	71
Telephone Number: *	07982610988	Address 1 (Street): *	Wright Street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Renfrew
Fax Number:		Country: *	Scotland
		Postcode: *	PA4 8AS
Email Address: *	eraldo@ntlworld.com		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	Auchenfoyle Cottage
First Name: *	Darren	Building Number:	
Last Name: *	Black	Address 1 (Street): *	Care of James Black
Company/Organisation		Address 2:	Auchenfoyle Road
Telephone Number: *		Town/City: *	kilmacolm
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	PA13 4TH
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

Inverclyde Council

Full postal address of the site (including postcode where available):

Address 1:

Auchenfoyle Farm

Address 2:

Auchenfoil Road

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

Kilmacolm

Post Code:

PA13 4TH

Please identify/describe the location of the site or sites

Northing

671029

Easting

231203

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

☒ Yes ☐ No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

☒ Meeting ☐ Telephone ☐ Letter ☐ Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

The roof pitch and line should be retained, two dormers would be permitted on the front elevation. The character of the building would have to be retained and fit with adjacent buildings

Title:

Mr

Other title:

First Name:

James

Last Name:

McCall

Correspondence Reference
Number:

Date (dd/mm/yyyy):

04/10/2017

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Site Area

Please state the site area:

170.00

Please state the measurement type used:

☐

Hectares (ha)

☒

Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Current use of building are vacant. Last known use was as food processing and storage, some 40 years ago.

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

☐

Yes

☒

No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? *

☐

Yes

☒

No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

6

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

6

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? *

☒

Yes

☐

No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *

☐

Yes – connecting to public drainage network

☒

No – proposing to make private drainage arrangements

☐

Not Applicable – only arrangements for water supply required

As you have indicated that you are proposing to make private drainage arrangements, please provide further details.

What private arrangements are you proposing? *

☒

New/Altered septic tank.

☐

Treatment/Additional treatment (relates to package sewage treatment plants, or passive sewage treatment such as a reed bed).

☐

Other private drainage arrangement (such as chemical toilets or composting toilets).

What private arrangements are you proposing for the New/Altered septic tank? *

☒

Discharge to land via soakaway.

☐

Discharge to watercourse(s) (including partial soakaway).

☐

Discharge to coastal waters.

Please explain your private drainage arrangements briefly here and show more details on your plans and supporting information: *

A new septic/drainage treatment tank approximately 90 metres from the proposed connection at dwelling. once treated water will discharge to near by and proposed large soakaway. the Tank will serve this only dwelling.

Do your proposals make provision for sustainable drainage of surface water?? *
(e.g. SUDS arrangements) *

☐ Yes ☒ No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

☐ Yes

☒ No, using a private water supply

☐ No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

☐ Yes ☒ No ☐ Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

☐ Yes ☒ No ☐ Don't Know

Trees

Are there any trees on or adjacent to the application site? *

☐ Yes ☒ No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

☐ Yes ☒ No

If Yes or No, please provide further details: * (Max 500 characters)

Storage and collection of normal domestic household waste remain as they are with the other adjacent dwellings. There are no other type of waste envisaged and relating to the proposals

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

☐ Yes ☒ No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

☐ Yes ☒ No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013 *

☐ Yes ☐ No ☒ Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

☐ Yes ☒ No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

☐ Yes ☒ No

Is any of the land part of an agricultural holding? *

☒ Yes ☐ No

Do you have any agricultural tenants? *

☐ Yes ☒ No

Are you able to identify and give appropriate notice to ALL the other owners? *

☒ Yes ☐ No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate B

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

I hereby certify that

(1) - No person other than myself/the applicant was an owner [Note 4] of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application;

or –

(1) - I have/The Applicant has served notice on every person other than myself/the applicant who, at the beginning of the period of 21 days ending with the date of the accompanying application was owner [Note 4] of any part of the land to which the application relates.

Name: Mr James Black

Address: J&J BLACK, 14, Care of David Black, Battery Park, Greenock, Scotland, PA16 7UB

Date of Service of Notice: * 19/12/2017

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding;

or –

(2) - The land or part of the land to which the application relates constitutes or forms part of an agricultural holding and I have/the applicant has served notice on every person other than myself/himself who, at the beginning of the period of 21 days ending with the date of the accompanying application was an agricultural tenant. These persons are:

Name:

Address:

Date of Service of Notice: *

Signed: Eraldo Murphy

On behalf of: Mr Darren Black

Date: 27/12/2017

☒ Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

☐ Yes ☐ No ☒ Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? *

☐ Yes ☐ No ☒ Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

☐ Yes ☐ No ☒ Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

☐ Yes ☐ No ☒ Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

☐ Yes ☐ No ☒ Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

☐ Yes ☐ No ☒ Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- ☒ Site Layout Plan or Block plan.
- ☒ Elevations.
- ☒ Floor plans.
- ☒ Cross sections.
- ☒ Roof plan.
- ☐ Master Plan/Framework Plan.
- ☐ Landscape plan.
- ☒ Photographs and/or photomontages.
- ☐ Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

A copy of an Environmental Statement. *

☐ Yes ☒ N/A

A Design Statement or Design and Access Statement. *

☒ Yes ☐ N/A

A Flood Risk Assessment. *

☐ Yes ☒ N/A

A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). *

☐ Yes ☒ N/A

Drainage/SUDS layout. *

☐ Yes ☒ N/A

A Transport Assessment or Travel Plan

☐ Yes ☒ N/A

Contaminated Land Assessment. *

☐ Yes ☒ N/A

Habitat Survey. *

☐ Yes ☒ N/A

A Processing Agreement. *

☐ Yes ☒ N/A

Other Statements (please specify). (Max 500 characters)

if other statements are required, please advise.

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

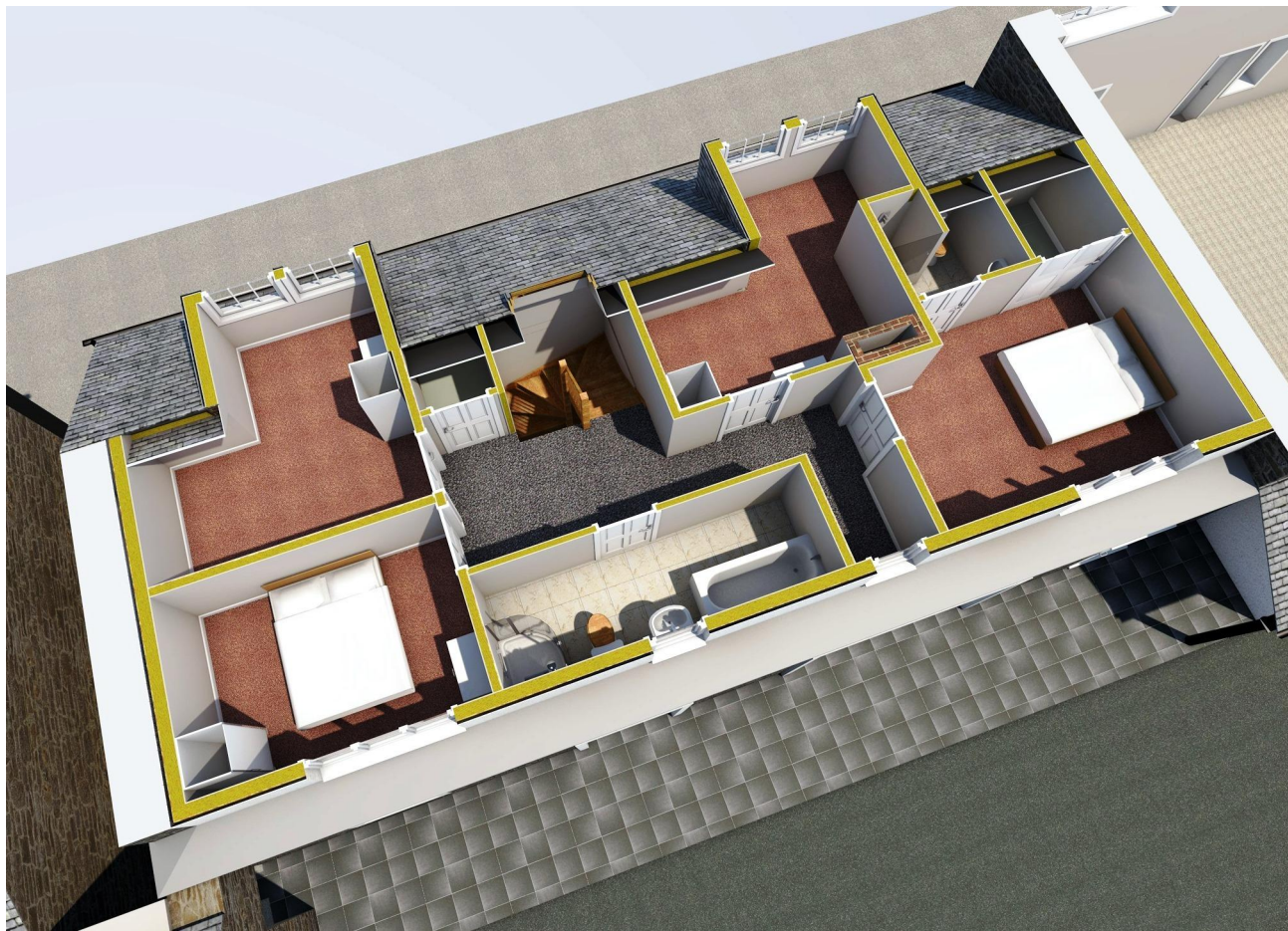
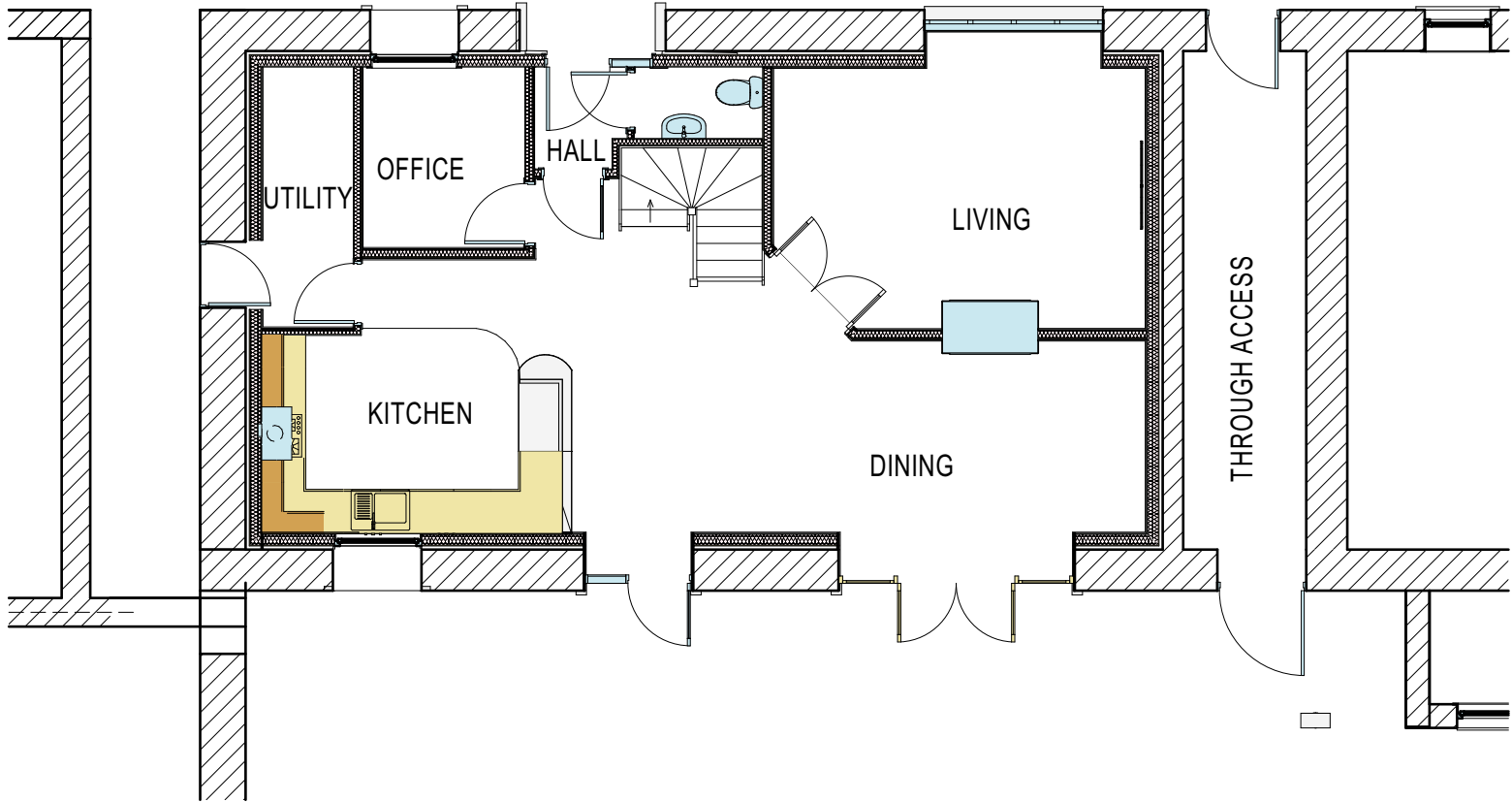
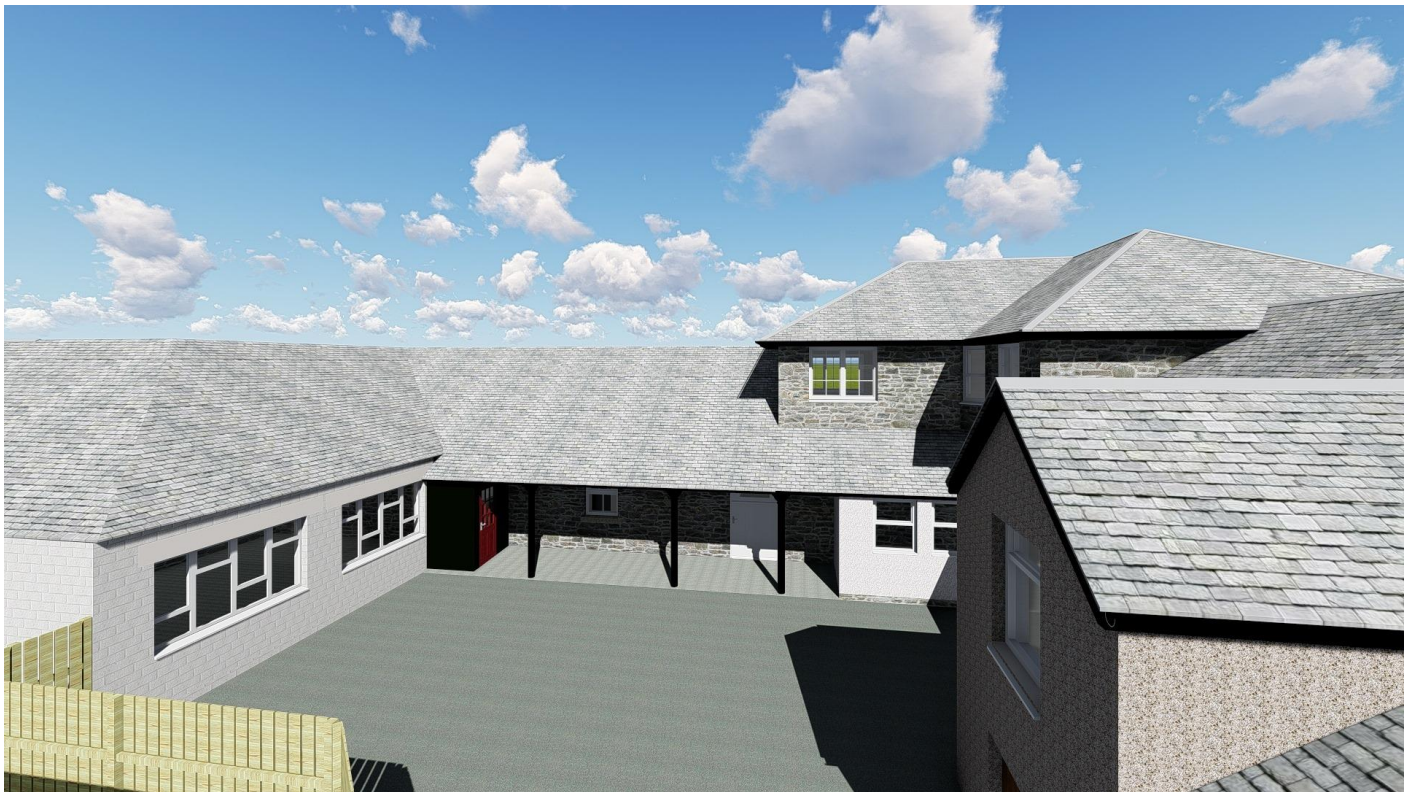
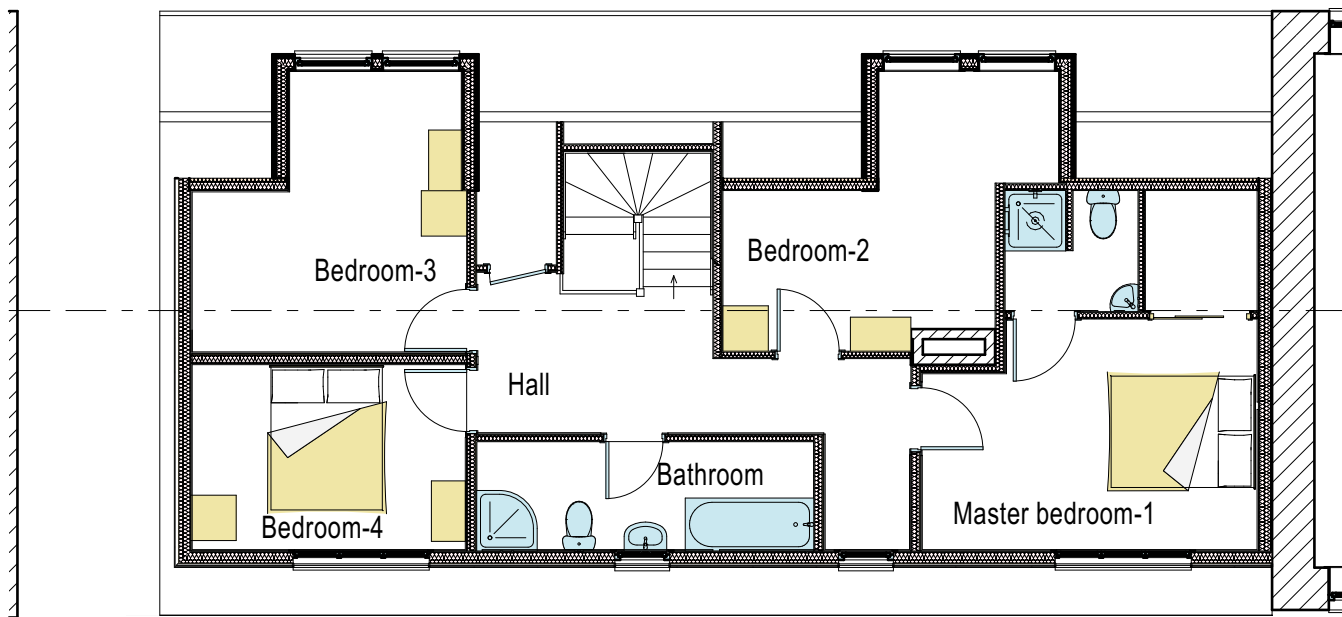
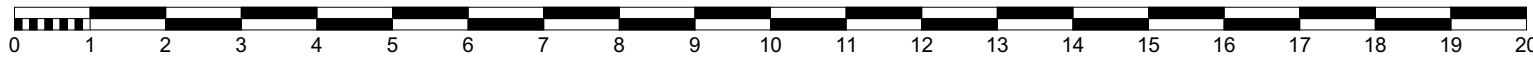
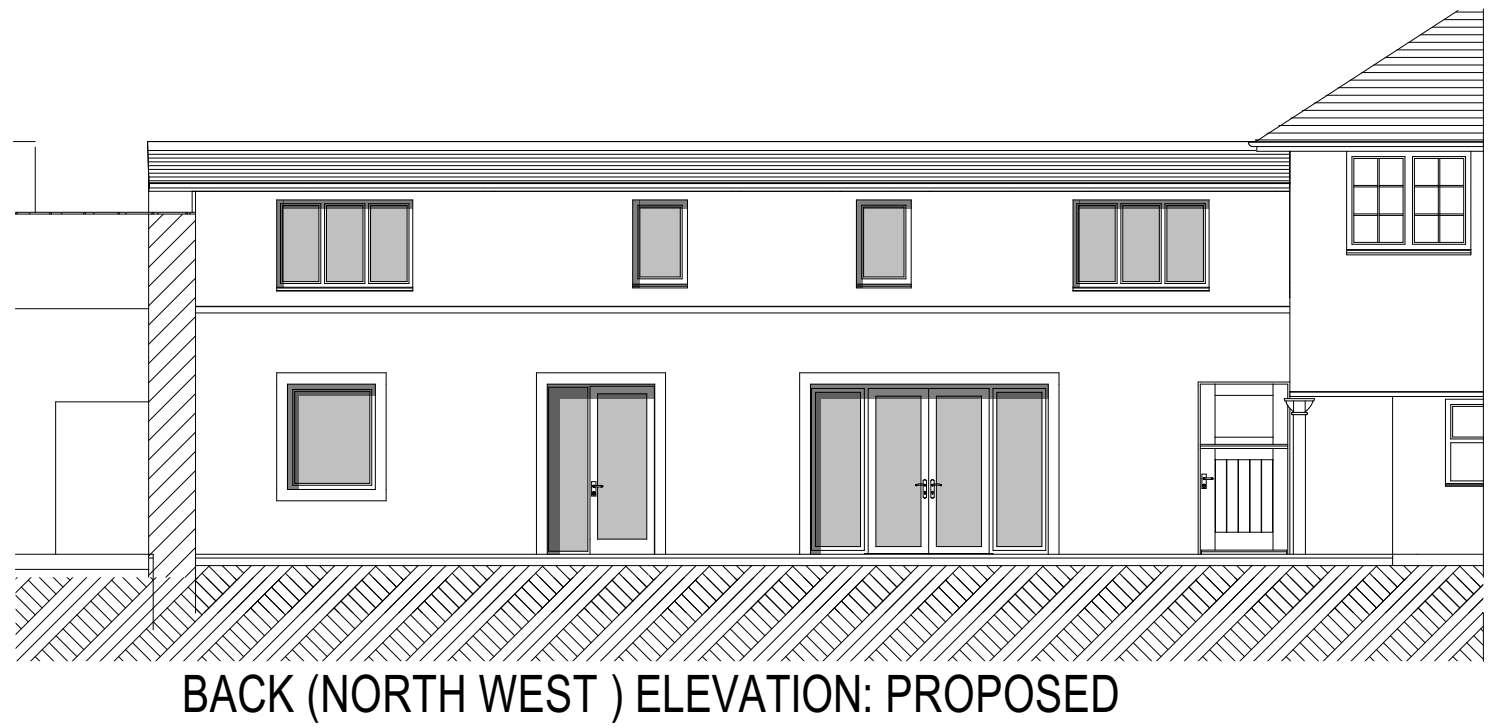
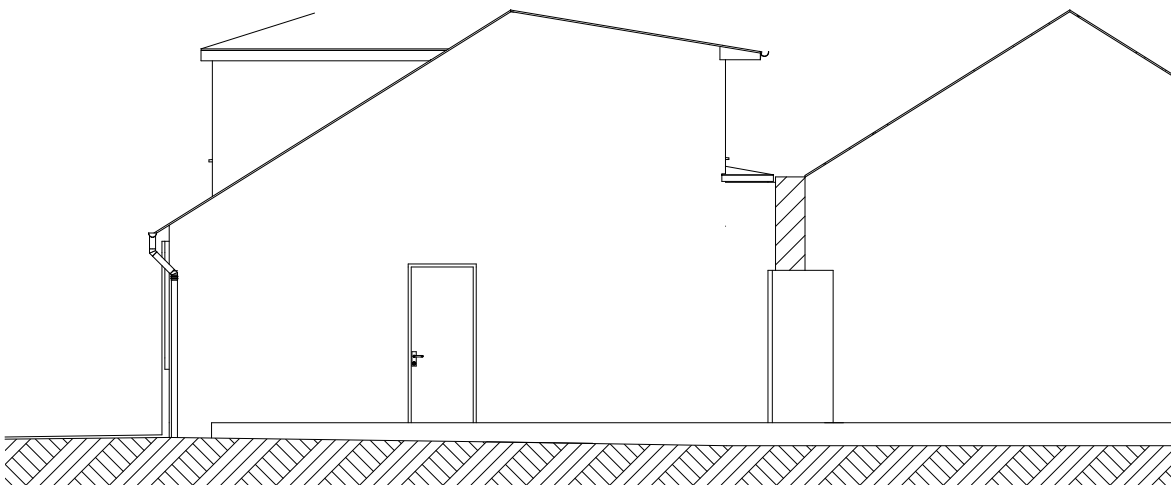
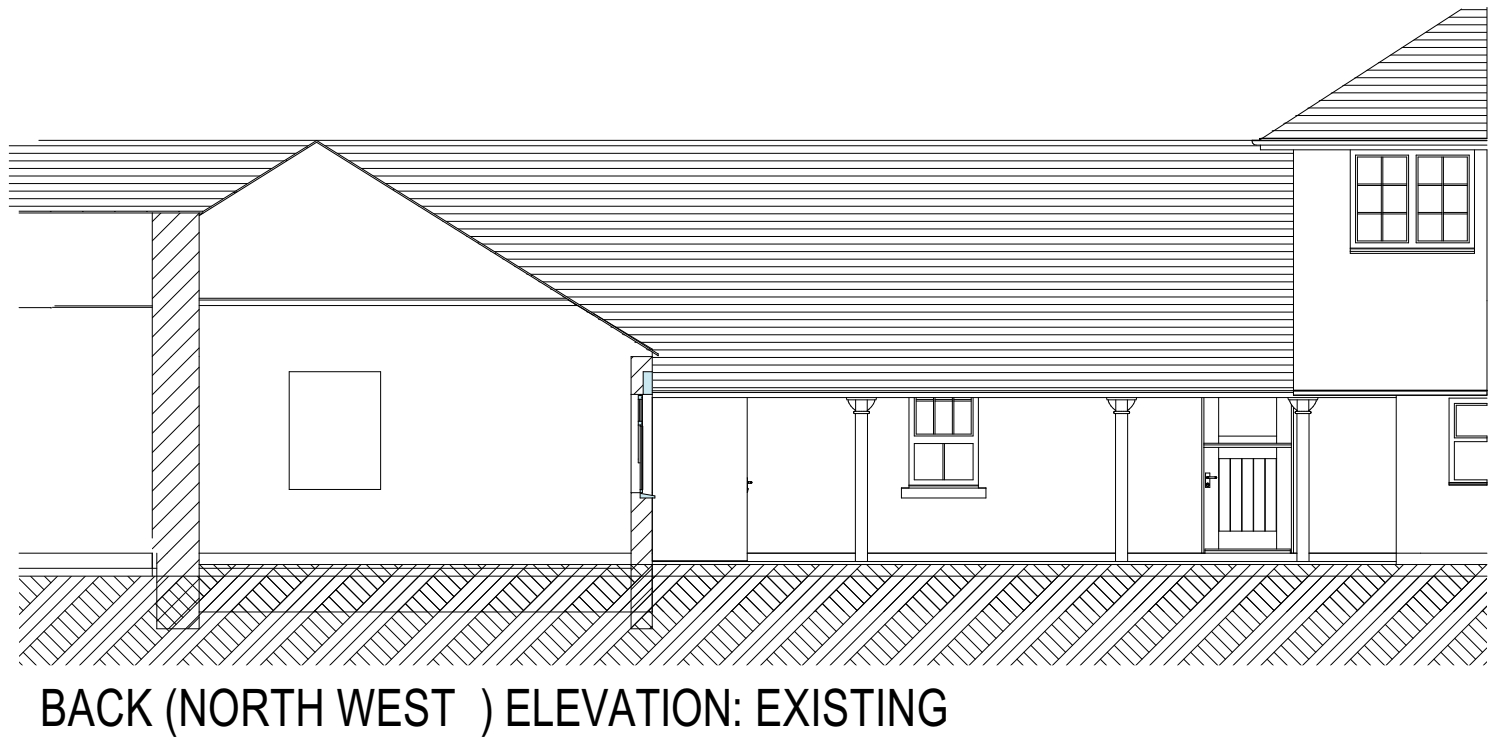
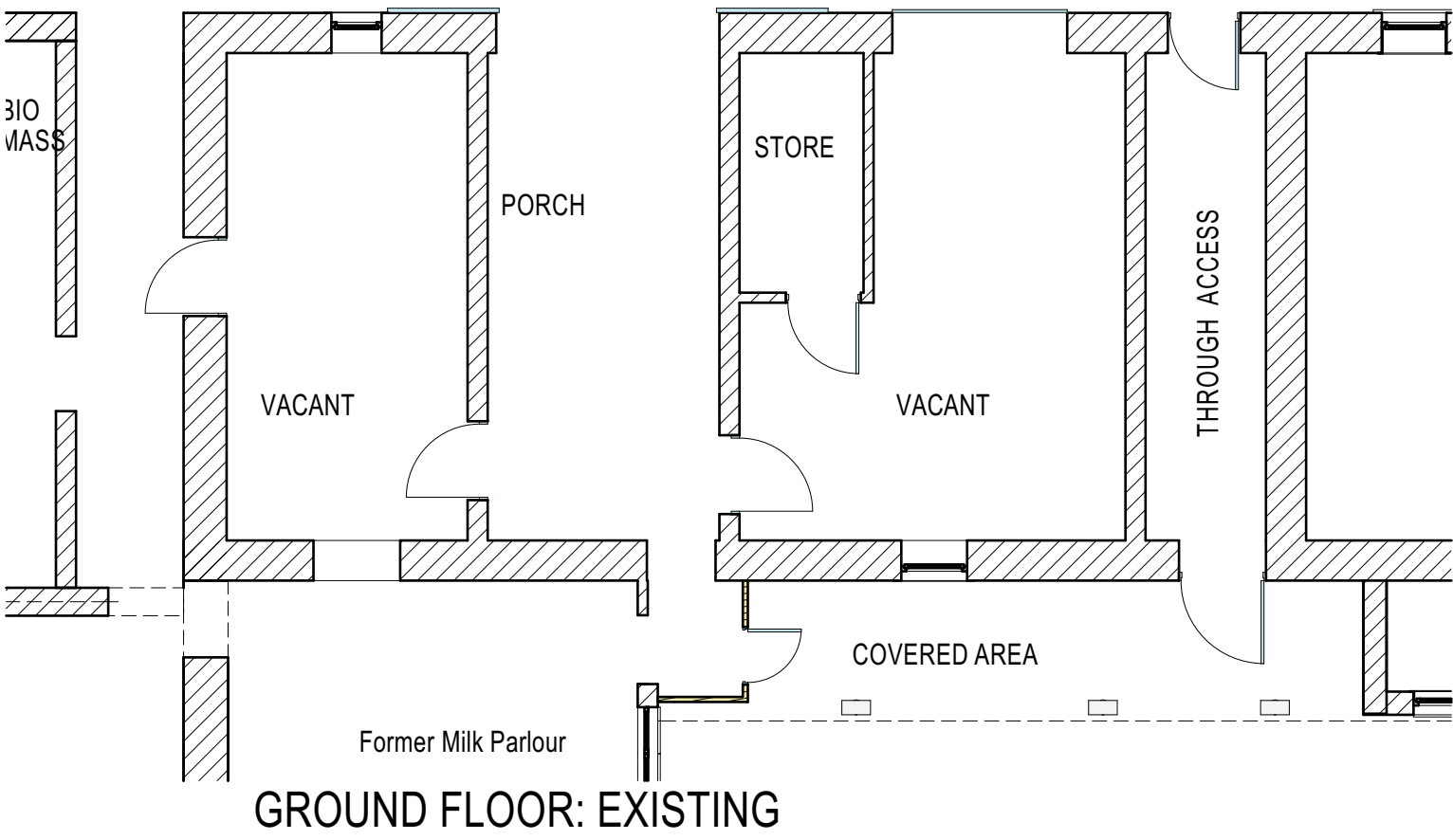
Declaration Name: Mr Eraldo Murphy

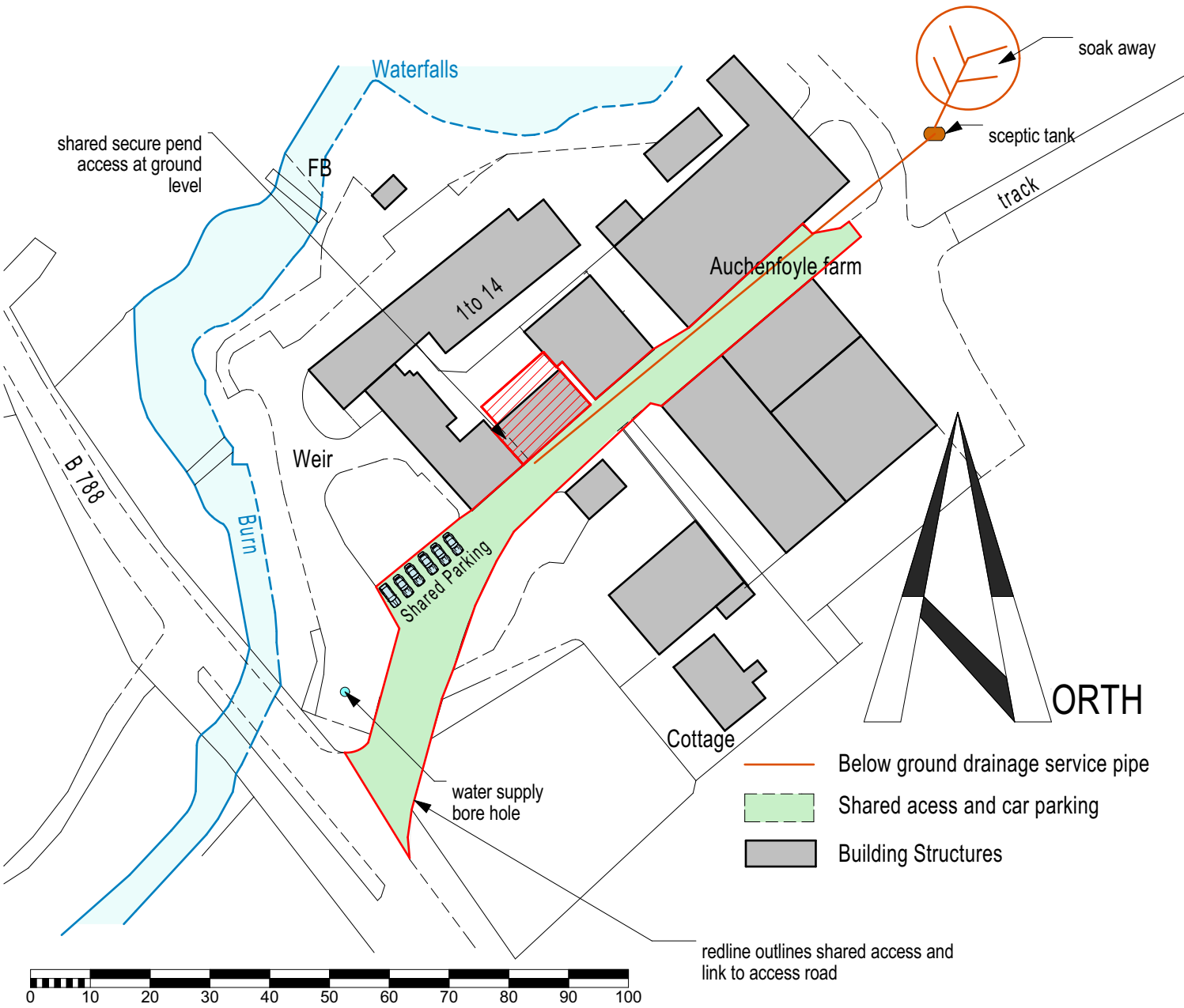
Declaration Date: 27/12/2017

Payment Details

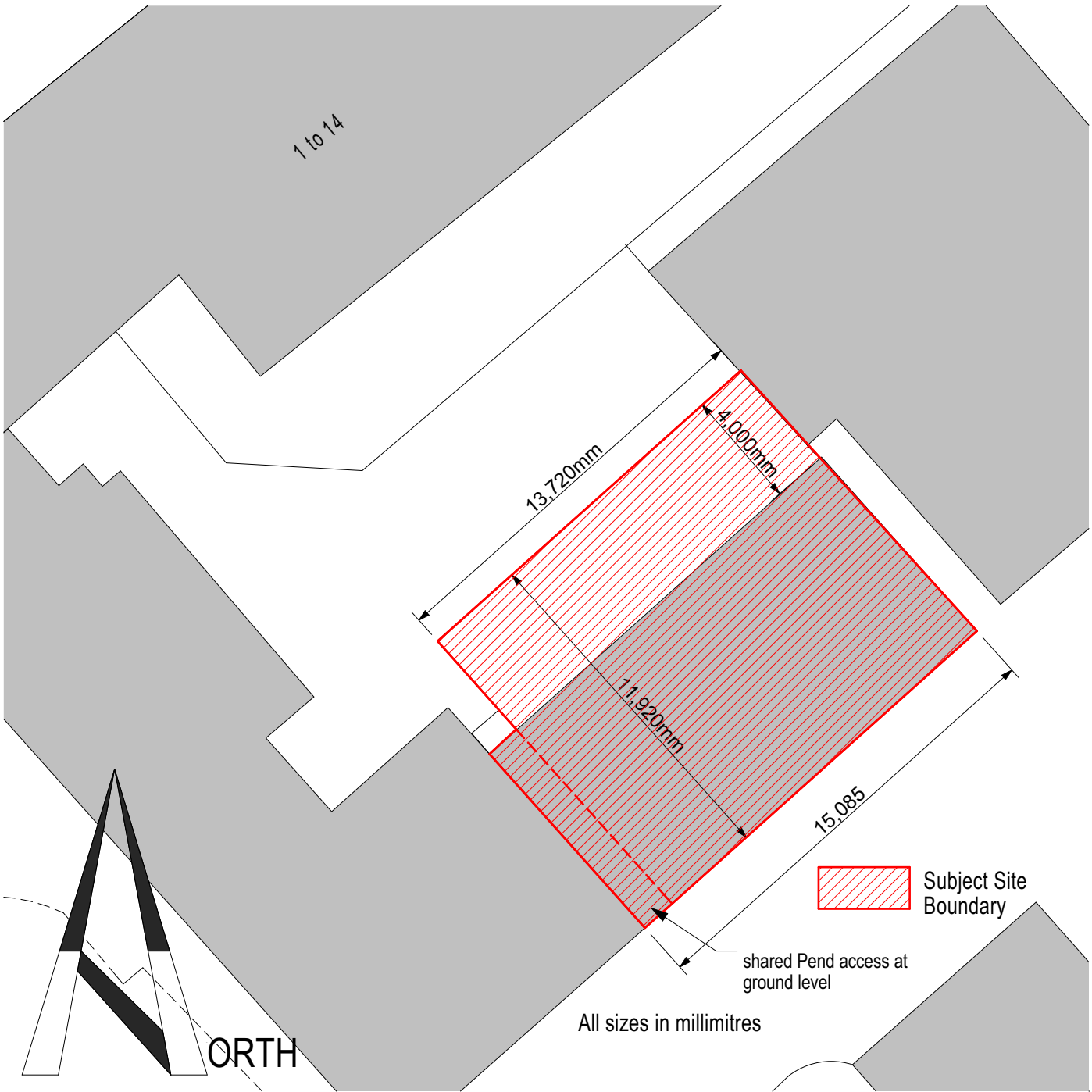
Telephone Payment Reference: will call

Created: 27/12/2017 11:52





LOCATION PLAN 1:1000



SITE PLAN 1:200

Revision "a": 08/01/2018: shared access boundary line added

project	AUCHENFOYLE FARM: BARN CONVERSION SCHEME-7
drawing title	LOCATION AND SITE PLAN

project No.	IC1701	drawing No.	AL01	revision	a	scale	1:1000, 1:200
Project Status	PLANNING	Drawn	Eraldo	date	08/01/2018		

eraldo Architects Limited

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e-mail: architects@eraldo.co.uk

ARB reg. No. 055964D

Tel. 0141 561 6872
Mob. 07982610988
site: www.eraldo.co.uk

2. APPOINTED OFFICER'S SITE PHOTOGRAPHS (PHOTOGRAPHS TAKEN ON 11 JULY 2018)



























3. APPOINTED OFFICER'S REPORT OF HANDLING DATED 3 AUGUST 2018

REPORT OF HANDLING

Report By: Carrie Main

Report No: 17/0415/IC

**Local Application
Development**

**Contact
Officer:** 01475 712412

Date: 03 August 2018

Subject: Conversion of outbuilding to a dwellinghouse at
Auchenfoyle Farm, Auchenfoil Road, Kilmacolm

SITE DESCRIPTION

The application site comprises of an approximately 0.017 hectare area of ground forming part of Auchenfoyle Farm on Auchenfoil Road, approximately 6km north-west of Kilmacolm located on farmland, in the countryside between Port Glasgow and Kilmacolm, accessed from the B788. The wider farm comprises of a traditional farm steading, with a main farmhouse with courtyard behind, typical of those found in rural areas within the West of Scotland. Four additional dwellings are located to the rear within the courtyard, which were formed following the conversion of the derelict farm buildings, granted planning permission in March 2002.

The application site comprises of single storey outhouses which are connected to the eastern side of the main farmhouse. These buildings are subdivided internally by brick walls and were previously used as a milking parlour and barn and are now derelict. Following receipt of a structural report, it was identified that the buildings' external stone built walls are considered to be in reasonable condition, yet in need of masonry repairs and maintenance. A similar position was established for the internal walls and ground floor slab. The traditional slate roof is considered to be in very poor condition and no longer feasible. To the front elevation, the outhouses feature a series of openings, some of which include metal sliding doors. To the rear, a roof overhang exists supported by steel posts, which lead onto the back yard/courtyard area.

PROPOSAL

The applicant seeks planning permission for alterations to and the conversion of the agricultural outbuilding, together with external works to build upwards, to create a two storey dwellinghouse. The floor plans indicate that the dwelling will feature four bedrooms and a bathroom to the upper level and a kitchen, dining, living, utility rooms and an office to the ground level.

The works also include the taking down of the milking parlour element of the built form to expand upon the shared amenity space within the rear courtyard area.

The resultant dwelling will include a centrally located door to the front elevation with two windows on either side, utilising the existing openings. To the upper level, two pitched roof dormers and a rooflight are proposed. To the rear elevation, the lower level will include a series of sliding glazed doors which lead onto the courtyard area. To the upper level, an additional storey will be created built up from the existing building. It will include a flat roof and sit slightly subordinate to the eaves of the main farmhouse building. Externally, the new dwelling will utilise and match the existing

materials, matching the main farmhouse, with the exception of the new build upper storey level to the rear which appears to be finished in a light coloured render.

DEVELOPMENT PLAN POLICIES

Policy SDS5 Development within the Urban Area

There will be a preference for all appropriate new development to be located on previously used (brownfield) land within the urban settlements, as identified on the Proposals Map.

Policy SDS8 - Green Belt and the Countryside

There will be a presumption against the spread of the built-up area into the designated Green Belt and careful management to prevent sporadic development in the designated Countryside, as identified on the Proposals Map.

Policy RES5 - Proposals for Changes to Properties for Residential Use

Proposals for the change of use, sub-division or conversion to properties to create new additional dwelling units, and for the alteration or extension to residential properties, will be assessed against and have to satisfy where appropriate, the following criteria:

- (a) the character and amenity of neighbouring properties;
- (b) impact on the streetscape;
- (c) impact on the character of the existing property;
- (d) accordance with the Council's adopted roads guidance; and
having regard to Supplementary Guidance on Planning Application Advice Notes.

Policy RES7- Residential Development in the Green Belt and Countryside

The development of new dwellings in the Green Belt and Countryside, identified on the Proposals Map, will be supported only if the proposal is for either

- (1) a single or small group of dwellings not adjoining the urban area; or
- (2) the conversion of redundant non-residential buildings, that are for the most part intact and capable of conversion for residential use without recourse to substantial demolition and rebuilding.

In addition, all proposals must fall within one of the following categories:

- (a) demolition and replacement of habitable dwellings which cannot otherwise be brought up to acceptable building standards and where the proposed building reflects the scale of the existing building and is sympathetic to the character, pattern of development and appearance of the area; or
- (b) sub-division of an existing dwelling house(s) for the provision of one or more additional units where any new build element is clearly ancillary to the completed building; or
- (c) conversion of redundant, non-residential buildings, where the proposal requires to be supported by proof of the building's redundancy to demonstrate that it no longer meets its original purpose, as well as a structural survey indicating that the building may be utilised for the proposed use substantially in its current form, and that any proposed extensions to existing building(s) or ancillary new build element will need to be proven to be required to make the development financially viable, with details of costs to be submitted; or

(d) is justified by the operational needs of farms or other businesses or activities which are inherently rural in nature and where the applicant will be required to make a land management or business case to the satisfaction of the Council: or

(e) is part of an integrated project with significant employment and/or economic benefits which is in accordance with other policies of the Local Development Plan and where the Council is satisfied that the dwelling(s) are essential to ensure the implementation of the whole development and that such considerations are of sufficient weight to merit support.

Further detailed policy relating to this type of development is contained in the Supplementary Guidance on Planning Application Advice Notes

Policy ENV2 - Assessing Development Proposals in the Green Belt and the Countryside

Development in the Green Belt will only be considered favourably in exceptional or mitigating circumstances, while development in the Countryside will only be considered favourably where it can be supported with reference to the following criteria:

(a) it is required for the purposes of agriculture, forestry or, where appropriate, renewable energy (refer Policy INF1); or

(b) it is a recreation, leisure or tourism proposal which is appropriate for the countryside and has an economic, social and community benefit (refer to Policy ECN6); or

(c) there is a specific locational requirement for the use and it cannot be accommodated on an alternative site (refer Policies INF3 and INF7); or

(d) it entails appropriate re-use of redundant habitable buildings, the retention of which is desirable for either their historic interest or architectural character or which form part of an establishment or institution standing in extensive grounds (refer to Policy RES7); and

(e) it does not adversely impact on the natural and built heritage, and environmental resources;

(f) it does not adversely impact on landscape character;

(g) it does not adversely impact on prime quality agricultural land;

(h) it does not adversely impact on peat land with a high value as a carbon store;

(i) it does not adversely affect the visual amenity of the area and is capable of satisfactory mitigation;

(j) there is a need for additional land for development purposes, provided it takes account of the requirements of the Strategic Development Plan; and

(k) it has regard to Supplementary Guidance on Planning Application Advice Notes.

Planning Application Advice Note (PAAN) 8 on "Siting and Design of New Houses in the Countryside" applies.

PROPOSED DEVELOPMENT PLAN POLICIES

Policy 1 - Creating Successful Places

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing development proposals, consideration must be given to the factors set out in Figure 3.

Where relevant, applications will also be assessed against the Planning Application Advice Notes Supplementary Guidance.

Policy 14 - Green Belt and Countryside

Development in the Green Belt and Countryside will only be permitted if it is appropriately designed, located, and landscaped, and is associated with:

- a) agriculture, horticulture, woodland or forestry;
- b) a tourism or recreational use that requires a countryside location;
- c) infrastructure with a specific locational need;
- d) the appropriate re-use of a redundant stone or brick building, the retention of which is desirable for its historic interest or architectural character, subject to that interest or character being retained; or
- e) intensification (including extensions and outbuildings) of an existing use, which is within the curtilage of the associated use and is of an appropriate scale and form.

Proposals associated with the uses set out in criteria a)-c) must provide justification as to why the development is required at the proposed location.

Policy 19 - Individual and Small Scale Housing Development in the Green Belt and Countryside

Proposals for individual and small scale housing development in the Green Belt and Countryside will only be supported in the following circumstances:

- o where the dwelling(s) is justified by the operational needs of a farm or other viable business which is inherently rural in nature and has been in operation for at least 5 years;
- o where the dwelling(s) is an integral and ancillary part of a development that would bring significant economic benefits to Inverclyde;
- o demolition and replacement of a habitable dwelling which cannot otherwise be brought up to current building standards, and where the proposed dwelling is similar in scale to the existing dwelling;
- o sub-division of an existing dwelling to create one or more additional dwellings, but only where any extensions are clearly ancillary to the existing building; or
- o conversion of redundant stone or brick built non-residential buildings, where the proposal is supported by proof that the existing building is no longer needed for its original purpose, and a structural survey indicating that the building can be converted in its current form, with any new build element clearly ancillary to the existing building.

In all instances, dwellings are required to be designed and located to respect their Green Belt/Countryside location.

Proposed Planning Application Advice Note (PAAN) 8 on "Siting and Design of New Houses in the Countryside" applies.

CONSULTATIONS

Head of Environmental and Commercial Services –

The following comments were received:

1. The conversion of the outbuilding will provide a 4 bedroom dwellinghouse. This requires the provision of three parking spaces, to be in accordance with the National Guidelines. The proposed site can accommodate 6 parked vehicles. This includes provision for the other dwellinghouse on the farm. The houses will accommodate staff on the farm and therefore the parking provision is acceptable.

2. Drainage details to be submitted for approval.
3. Confirmation that the septic tank is in accordance with SEPA's regulations.

Head of Safer and Inclusive Communities –

The following conditions are recommended:

1. That prior to the start of development, details of a survey for the presence of Japanese Knotweed shall be submitted to and approved in writing by the Planning Authority and that, for the avoidance of doubt; this shall contain a methodology and treatment statement where any is found. Development shall not proceed until appropriate control measures are implemented. Any significant variation to the treatment methodology shall be submitted for approval, in writing by the Planning Authority prior to implementation.
Reason: To help arrest the spread of Japanese Knotweed in the interests of environmental protection.
2. That the development shall not commence until an Environmental Investigation and Risk Assessment, including any necessary Remediation Scheme with timescale for implementation, of all pollutant linkages has been submitted to and approved, in writing by the Planning Authority. The investigations and assessment shall be site-specific and completed in accordance with current codes of practice. The submission shall also include a Verification Plan. Any subsequent modifications to the Remediation Scheme and Verification Plan must be approved in writing by the Planning Authority prior to implementation.
Reason: To satisfactorily address potential contamination issues in the interests of human health and environmental safety.
3. That before the development hereby permitted is occupied the applicant shall submit a report for approval, in writing by the Planning Authority, confirming that the works have been completed in accordance with the agreed Remediation Scheme and supply information as agreed in the Verification Plan. This report shall demonstrate that no pollutant linkages remain or are likely to occur and include (but not limited to) a collation of verification/validation certificates, analysis information, remediation lifespan, maintenance/aftercare information and details of all materials imported onto the site as fill or landscaping material. The details of such materials shall include information of the material source, volume, intended use and chemical quality with plans delineating placement and thickness.
Reason: To ensure contamination is not imported to the site and confirm successful completion of remediation measures in the interest of human health and environmental safety.
4. That the presence of any previously unrecorded contamination or variation to anticipated ground conditions that becomes evident during site works shall be brought to the attention of the Planning Authority and the Remediation Scheme shall not be implemented unless it has been submitted to and approved, in writing by the Planning Authority.
Reason: To ensure that all contamination issues are recorded and dealt with appropriately.
5. The applicant shall submit to the Planning Authority a detailed specification of the containers to be used to store waste materials and recyclable materials produced on the premises as well as specific details of the areas where such containers are to be located. The use of the development shall not commence until the above details are approved in writing by the Planning Authority and the equipment and any structural changes are in place.

6. All external lighting on the application site should comply with the Scottish Government Guidance Note "Controlling Light Pollution and Reducing Lighting Energy Consumption".

Reason: To protect the amenity of the immediate area, the creation of nuisance due to light pollution and to support the reduction of energy consumption.

Greenspace Manager –

This will require a bat survey, for the following reasons;

- The nature of the building as a stone, slate roofed agricultural building. It is even more compelling that is adjacent to other similar buildings.
- The proximity of mature broadleaved trees.
- The proximity to a watercourse.

These are all standard triggers within the Bat Conservation Trust Good Practice Guidelines, and this approach is consistent with other developments in the locality. I would be looking for a dawn and dusk survey which means waiting until the bat activity season, probably from April onwards.

Additionally, the disturbance of nesting birds during any construction phase is an offence. I mention this because the site looks especially suitable for swallows.

PUBLICITY

The application was advertised in the Greenock Telegraph on 16th February 2018 as there are no premises on neighbouring land.

SITE NOTICES

The nature of the proposal did not require a site notice.

PUBLIC PARTICIPATION

The application was the subject of neighbour notification. One representation was received from Kilmacolm Civic Trust stating no objection to the proposal.

ASSESSMENT

The material considerations in the determination of the application are the adopted and proposed Inverclyde Local Development Plans, both adopted and proposed Planning Application Advice Notes (PAANs) 8 on "Siting and Design of New Houses in the Countryside", Scottish Planning Policy (SPP), National Planning Framework (NPF) 3, the consultation responses, the representation received and the applicant's supporting documentation.

One of the key principles of Scottish Planning Policy (SPP) and the National Planning Framework (NPF) 3 is providing successful, sustainable places, in which the right development is directed to the right place. Under 'promoting rural development' it is noted that where new development can often help to sustain fragile communities, plans and decision-making should generally take account of environmental protection policies and address issues of location, siting, design and environmental impact.

The Inverclyde Local Development Plans locate the application site within the Green Belt and the Countryside under adopted Plan Policy ENV2 and proposed Plan Policies 14 and 19. These policies generally oppose development in the Green Belt unless the proposal complies with a number of circumstances/ criteria relating to its specific locational requirement in meeting rural needs, it entails the appropriate re-use of a redundant habitable building without compromising

historic or architectural character and it does not adversely impact on the natural and built heritage, landscape character, prime agricultural land, peat land or adversely affect the visual amenity of the area. In order to establish whether any such circumstances apply, referral is required particularly to Policy RES7 and Policy 19. Policy SDS5, in line with SPP, sets an overarching principle for the direction of new development to be located on previously used (brownfield) land within urban settlements. Policy SDS8 also sets a presumption against the spread of the built-up area into the designated Green Belt with careful management required to prevent sporadic development. Both adopted and proposed PAAN8s provide specific advice in relation to the siting and design of new houses in the Green Belt and the countryside. Policy 1 is also relevant in assessing whether development proposals contribute to the six qualities of successful places.

The nature of the proposal is the conversion an existing outbuilding which has fallen out of active agricultural use and lies adjacent to a small group of dwellings. It must therefore be noted that the proposal is not of such a significant scale which would lead to isolated or sporadic development into the Green Belt. It also alleviates concerns of the impact on landscape character, quality agricultural land and peatland. It therefore rests to consider whether the proposal favourably meets all other exceptional or mitigating circumstances, in which development in the Green Belt and countryside can be supported. A key consideration will be whether the proposal enables the retention of the original form of building and the wider farm in the interests of the overall character of the rural area.

In first considering the locational requirement of the proposed dwelling, I am content that the use of the dwelling is related to supporting the existing farm and thus, sufficiently satisfies criterion (c) of Policies ENV2 and 14 and criterion (d) of Policy RES7. A structural survey submitted concludes that the buildings' stone perimeter walls can be feasibly used for redevelopment. It is acknowledged that the roof has reached the end of its life and requires to be replaced and thus, introduces an element of demolition and rebuilding. I am however happy that in principle this remains in the spirit of criterion (d) of Policy ENV2, Policy RES7 and both PAAN8s. However, it still remains to be considered whether the new build element is appropriate in terms of scale and design and is sympathetic to the character, pattern of development and appearance of the area.

In considering design, the new roof incorporates two pitched roof dormer windows and a rooflight to the front elevation. This alteration to the original building is considered to form a subtle addition, which is sympathetic to the existing building and pattern of development in terms of scale and design. To the rear, a prominent second storey, with a shallow pitched roof, extends across the entire width of the original building with the existing external walls being built up accordingly. This presents a conflict with the policy criteria as the new build element to the rear is not considered to be ancillary to the original building, thus, I am not satisfied that the proposal presents a development which reinstates the building in the existing form and scale. Within the courtyard the section of shallow pitch roof will be viewed as flat. This is neither traditional in character nor reflective of any of the buildings surrounding. This creates an alien design feature, which will threaten the scale, design and overall traditional rural characteristics of the existing building and wider steadings. The proposal is therefore contrary to Policy RES7 (criteria (a) and (b)) and Policy 19 (criteria (c) and (d)) and Policy ENV2 (criteria (d) and (i)). Furthermore, it is not in accordance with the guidance provided within both PAAN8s which advise that in the conversion of buildings to residential use substantial rebuilding will not be acceptable, any extension shall be subsidiary to the original building and in terms of siting and design of new roof a minimum roof pitch of 35 degrees should be achieved. With reference to Policy 1, I consider the proposal to enable adaptability of the building to ensure it does not remain unused. Yet, I do not consider the proposal's form and design to reflect the character of the existing building.

During the assessment of the application, the applicant/agent was given the opportunity to amend the design of the proposal to the rear elevation following on from discussion regarding the above points and non-compliance with the relevant plan policies and guidance. The applicant however requested that the application be determined as it stands currently.

With respect to all other material considerations, I note the consultation replies and outstanding matters relating to drainage, the disturbance of nesting birds, Japanese Knotweed and contaminated land can be addressed by conditions. Following the consultation from the Greenspace Manager, the applicant has submitted a bat activity survey. The findings revealed the presence of bats roosting in the farmhouse roof and subsequently, a licence, issued by Scottish Natural Heritage will be required before any exclusion were to take place. Once received, this would not present an impediment to development. Overall, it is determined that none of these additional requirements carry sufficient weight for me to conclude that planning permission should be granted given my conclusions in relation to non-compliance with Policies ENV2, RES5, RES7, 14, 19 and guidance within both PAAN8s.

I am therefore satisfied that a departure from the Inverclyde Local Development Plan and associated guidance cannot be justified in this instance and that planning permission should therefore be refused.

RECOMMENDATION

That the application be refused.

Reasons

1. The proposal is contrary to adopted Inverclyde Local Development Plan Policy ENV2 criteria (d) and (i); Policy RES5 criteria (a) and (c); Policy RES7 criteria (a) and (b); and Inverclyde Local Development Proposed Plan Policy 14 criteria (d) and (e); Policy 19 criteria (c), (d) and (e) as it does not comply with the exceptional or mitigating circumstances that would justify this development in the Green Belt, specifically that the proposal does not appropriately retain the character of the original building and wider area in terms of scale and design.
2. The proposal is contrary to the guidance in both adopted and proposed Planning Application Advice Notes (PAANs) 8 on "Siting and Design of New Houses in the Countryside" as the conversion of the outbuilding includes rebuild which does not reflect the original scale, character, proportion, design and architectural integrity of the building and is not subsidiary to the original building.
3. The proposal is contrary to Policy 1 of the Inverclyde Local Development Plan Proposed Plan as it fails to have regard to the six qualities of successful places, in that it does not contribute to the 'distinctive' factor as it does not reflect local architecture and urban form.

Signed:



Carrie Main
Case Officer



Stuart Jamieson
Head of Regeneration and Planning

**4. INVERCLYDE LOCAL DEVELOPMENT PLAN 2014
SUPPLEMENTARY GUIDANCE ON PLANNING
APPLICATION ADVICE NOTES (PAANS)**



INVERCLYDE LOCAL DEVELOPMENT PLAN 2014

SUPPLEMENTARY GUIDANCE on PLANNING APPLICATION ADVICE NOTES (PAANS)

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- 2.0 Relationship to Local Development Plan
- 3.0 The PAANs
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1.0 Purpose and Background

1.1 The purpose of this Supplementary Guidance (SG) is to supplement certain policies and proposals in the LDP. The policies that are most affected and require this additional advice are outlined in Section 2.0 and relate mainly to residential development proposals.

1.2 The SG is a material consideration for the Council in the assessment of all relevant planning applications under the policies listed in Section 2.0. It should be read in conjunction with other relevant policies of the adopted LDP.

1.3 The Council receives between 450 and 500 planning applications each year, including those for listed building and advertisement consent.

1.4 Considerable delays can result when applicants present their development proposals without having consulted the Planning Service first. Pre-application discussions are strongly encouraged in order to make applicants aware of the advice that is available to them, which should help to speed-up the planning process.

1.5 Eleven PAANs have been prepared for this purpose, providing detailed advice on the most common planning applications, which if followed should assist applicants wishing to undertake development and works of this kind and submit proposals that are more likely to be acceptable and approved.

1.6 The PAANs are designed to assist applicants to submit their proposals without having to amend them later on in the assessment process. Without

having first discussed the advice available with officers, proposals are likely to require amendment leading to applicants facing additional expense preparing revised plans and re-notifying neighbours.

1.7 The PAANs should not only assist applicants receive planning permission, but also within a reasonable timeframe.

1.8 It is acknowledged that there may be additional requirements or new issues that may arise requiring review and amendments to the existing PAANs or the preparation of new ones. If considered necessary, this will be done and any changes or new PAANs would have the same status as those currently approved PAANs within this adopted SG.

2.0 Relationship to Local Development Plan

2.1 The PAAN Nos. 1-11 are designed to supplement the policy content of the LDP. The PAANs are referenced in the LDP under a number of policies, in particular in Chapter 6 and to a lesser extent, chapters 7 and 9.

2.2 The relevant policies are:

Chapter 6: Policy RES1 – PAAN Nos. 1; 2 & 3

Chapter 6: Policy RES5 – PAAN Nos. 4; 5; 6 & 7

Chapter 6: Policy RES7 – PAAN Nos. 8 & 9

Chapter 7: Policy TCR7 – PAAN Nos. 10 & 11

Chapter 8: Policy ENV2 – PAAN No. 8

Chapter 9: Policies HER1 and HER4 – PAAN No. 7

3.0 The PAANs

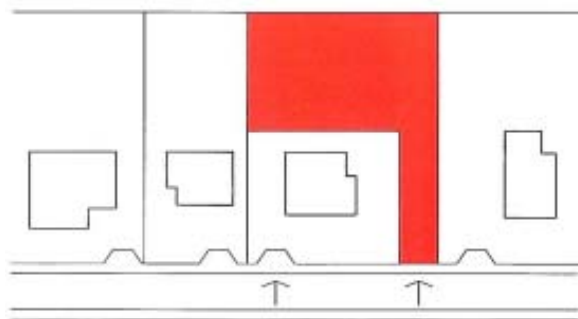
Planning Application Advice Note No. 1

BACKLAND and TANDEM RESIDENTIAL DEVELOPMENT

Backland sites are areas of ground which do not have a direct street frontage. They are linked to the road via an access between buildings which themselves have direct road frontages. Pressure for backland development comes in many forms; a new house within the rear garden of an existing house and the development of hidden sites accessed via a narrow lane between buildings are typical examples.

Tandem development is where a house is sited beside an existing house and it shares a common drive.

This Advice Note provides a guide to the issues that are considered in determining planning applications for these types of development.



Backland Development

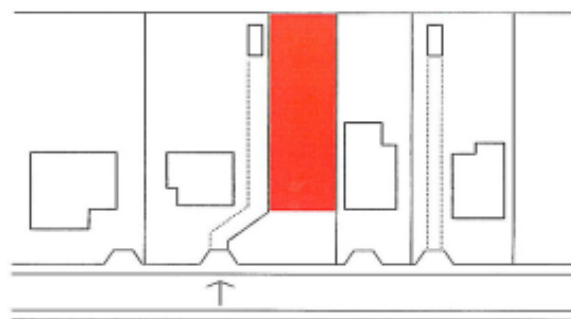
Applications for backland residential development will be considered with reference to the following:

- The impact of traffic generation and movement on the amenity of adjacent houses or flats.

The position of the site access and the location of any parking areas with particular reference to the proximity of existing residential buildings, the position of habitable rooms and windows within adjacent buildings, and the impact on areas of existing private garden ground will be assessed. Proposals will only be supported where the resultant impact is considered to be comparable to or better than established levels of amenity evident in the immediate locality.

- The impact on traffic safety.

Vehicles and pedestrians must be able to enter and leave the site safely without danger to others. In this respect appropriate visibility sightlines must be provided at the entrance to the site. The access link may require to provide for vehicles passing dependent upon the length of the access and the number of houses being developed.



Tandem Development

- The shape of the site and its ability to be developed without unacceptable impact on adjacent houses or flats.

Considerations will include an assessment of the proximity between existing and proposed residential buildings, the relationship between windows within adjacent buildings (see window intervisibility guidance), the impact on daylight in adjacent houses or flats and the impact of shadow and disturbance on areas of existing private garden ground. Proposals will only be supported where the resultant impact is considered to be comparable to or better than established levels of amenity evident in the immediate locality.

- Compatibility with established development.

The proposed development must be able to provide buildings and gardens comparable with and complementary to those in the immediate locality.

Applications for tandem residential development will be considered with reference to the following:

- The impact of traffic generation and movement on the amenity of adjacent houses or flats.

The position of the common drive and the location of any parking areas with particular reference to the proximity of existing residential buildings, the position of habitable rooms and windows within adjacent buildings, and the impact on areas of existing private garden ground will be assessed. Proposals will only be supported where the resultant impact is considered to be comparable to or better than established levels of amenity evident in the immediate locality.

PLANNING APPLICATION ADVICE NOTES

- The impact on traffic safety.

Vehicles and pedestrians must be able to use the common drive safely. In this respect the common drive may require to provide for vehicles passing dependent upon the length of the access.

- The shape of the site and its ability to be developed without unacceptable impact on adjacent houses or plots.

The proposed development must be able to be developed without unacceptable impact on adjacent houses or flats. Considerations will include an assessment of the proximity between existing and proposed residential buildings, the relationship between windows within adjacent buildings (see window intervisibility guidance), the impact on daylight in adjacent houses or flats and the impact of shadow and disturbance on areas of existing private garden ground. Proposals will only be supported where the resultant impact is considered to be comparable to or better than established levels of amenity evident in the immediate locality.

- Compatibility with established development.

Provide buildings and gardens comparable with and complementary to those in the immediate locality.

Applications in conservation areas

The Greenock West End and Kilmacolm Conservation Areas are characterised by substantial villas set in large gardens. Understandably, there has been pressure for backland residential development in these areas. Historic Scotland's Scottish Historic Environment Policy explains the Government's position. The Scottish Government require the historic environment to be cared for, protected and enhanced. Development which does not respect the scale, design and detailing of existing buildings

will not generally be supported.

Applications in the grounds of listed buildings

New development within the grounds of listed buildings must have regard to the following:

- The listed building should be maintained as the visually prominent building.
- The principal elevations of the listed building should remain visible from all key viewpoints. New building should not breach any close formal relationship between the listed building and traditional outbuildings.
- Formal gardens should not be affected.
- Developments in front gardens which damage buildings to street relationships will not be supported.
- If a listed building is proposed to be upgraded as part of any development, work requires to be implemented to the listed building as the first stage or as part of an agreed phasing scheme.

Trees

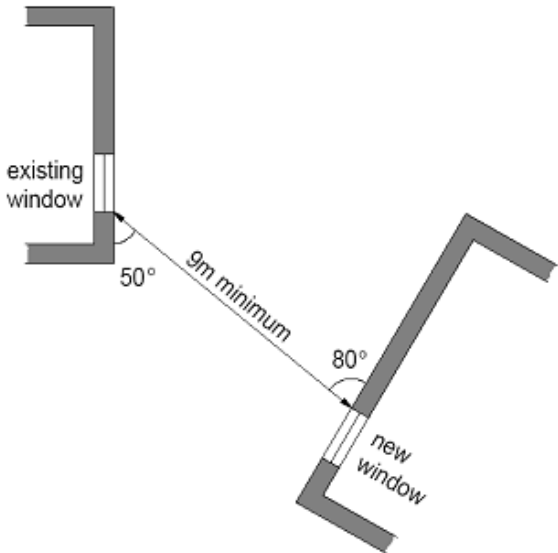
Some backland and tandem sites require tree felling to enable development. The Town and Country Planning (Tree Preservation Orders and Trees in Conservation Areas) (Scotland) Regulations 2010 deem that in all but exceptional circumstances, the consent of the Council is required to fell or lop any tree covered by a TPO (Tree Preservation Order) or within a Conservation Area. The promotion of TPOs is an ongoing process and, in assessing applications for development, the Council has a duty to consider the visual impact which would result if tree felling is required.

Window intervisibility

The table below details acceptable levels of window to window intervisibility. The distances are taken from the shortest point between the windows.

Minimum Window to Window Distances (metres)

		Angle at window of house/extension etc. to be erected not more than:									
Angle at window of any other house not more than:		90°	80°	70°	60°	50°	40°	30°	20°	10°	0°
	90°	18	18	18	18	13	9	6	4	3	2
	80°	18	18	18	13	9	6	4	3	2	-
	70°	18	18	13	9	6	4	3	2	-	-
	60°	18	13	9	6	4	3	2	-	-	-
	50°	13	9	6	4	3	2	-	-	-	-
	40°	9	6	4	3	2	-	-	-	-	-
	30°	6	4	3	2	-	-	-	-	-	-
	20°	4	3	2	-	-	-	-	-	-	-
	10°	3	2	-	-	-	-	-	-	-	-
	0°	2	-	-	-	-	-	-	-	-	-



Planning Application Advice Note No. 2

SINGLE PLOT RESIDENTIAL DEVELOPMENT

There is a constant demand to erect single houses, often within the grounds of large private gardens and occasionally on small derelict or undeveloped areas of ground. These developments are often beneficial, providing additional housing in sustainable locations and removing derelict and untidy sites from the streetscene.

This Advice Note provides guidance on the issues that are considered in determining planning applications for this type of development.

Infill plots will be considered with reference to the following:

- The plot size should reflect those in the immediate locality.
- The proportion of the built ground to garden ground should reflect that in the immediate locality.
- The distance of the building to garden boundaries should reflect that in the immediate locality.
- The established street front building line should be followed.
- The proposed building height, roof design, use of materials and colours should reflect those in the immediate locality.

- Ground level window positions should comply with the window intervisibility guidance. Windows on side elevations should be avoided where they offer a direct view of neighbouring rear/private gardens, but bathroom windows fitted with obscure glazing will be acceptable. Boundary screening of appropriate height may be considered where the design and impact on neighbouring residential amenity is deemed acceptable.
- Windows of habitable rooms above ground level should comply with the window intervisibility guidance. Windows on side elevations will only be permitted if the distance to the nearest boundary exceeds 9.0 metres, if there is no direct view of neighbouring rear/private gardens or if it is a bathroom window fitted with obscure glazing.
- The level of on site car parking should be comparable with the established pattern in the street and be capable of being implemented without detriment to road safety.

Applications in Conservation Areas

The Greenock West End and Kilmacolm Conservation Areas are characterised by substantial villas set in large gardens. Understandably, there has been pressure for infill residential development in these areas. Historic Scotland's Scottish Historic Environment Policy explains the Government's position. The Scottish Government requires the historic environment to be cared for, protected and enhanced. Development which does not respect the scale, design and detailing of existing buildings will not generally be supported.

Applications in the grounds of listed buildings

New development within the grounds of listed buildings must have regard to the following:

- The listed building should be maintained as the visually prominent building.
- The principal elevations of the listed building should remain visible from all key viewpoints. New building should not breach any close formal relationship between the listed building and traditional outbuildings.
- Formal gardens should not be affected.
- Developments in front gardens which damage buildings to street relationships will not be supported.
- If a listed building is proposed to be upgraded as part of any development, work requires to be implemented to the listed building as the first stage or as part of an agreed phasing scheme.

Trees

Some infill sites require tree felling to enable development. The Town and Country Planning (Tree Preservation Orders and Trees in Conservation Areas) (Scotland) Regulations 2010 deem that in all but exceptional circumstances, the consent of the Council is required to fell or lop any tree covered by a TPO (Tree Preservation Order) or within a Conservation Area. The promotion of TPOs is an ongoing process and, in assessing applications for development, the

PLANNING APPLICATION ADVICE NOTES

Council has a duty to consider the visual impact which would result if tree felling is required.

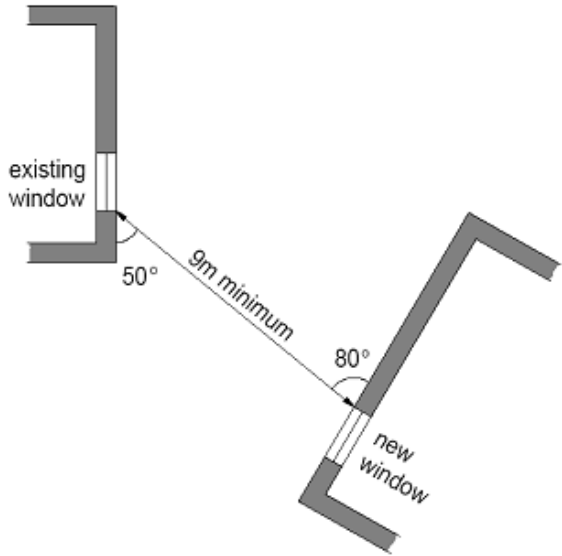
Window intervisibility

The table to the right details acceptable levels of window to window intervisibility. The distances are taken from the shortest point between the windows.



Minimum Window to Window Distances (metres)

Angle at window of house/extension etc. to be erected not more than:		90°	80°	70°	60°	50°	40°	30°	20°	10°	0°
Angle at window of any other house not more than:	90°	18	18	18	18	13	9	6	4	3	2
	80°	18	18	18	13	9	6	4	3	2	-
	70°	18	18	13	9	6	4	3	2	-	-
	60°	18	13	9	6	4	3	2	-	-	-
	50°	13	9	6	4	3	2	-	-	-	-
	40°	9	6	4	3	2	-	-	-	-	-
	30°	6	4	3	2	-	-	-	-	-	-
	20°	4	3	2	-	-	-	-	-	-	-
	10°	3	2	-	-	-	-	-	-	-	-
	0°	2	-	-	-	-	-	-	-	-	-



Planning Application Advice Note No. 3

PRIVATE and PUBLIC OPEN SPACE PROVISION in NEW RESIDENTIAL DEVELOPMENT

Open space provides two important functions; it contributes to “Placemaking”, providing space around and setting for buildings helping to establish the impression of an area, and it can be used to provide areas for outdoor leisure.

This Advice Note provides guidance on the required levels of public open space and private garden ground that should be included in new residential developments.

Types of development

No two sites are the same and residential development can range from the single house to sites in excess of 100 units. The standards required vary depending upon the scale of the development. The following definitions apply:

SMALL SCALE INFILL, INCLUDING SINGLE PLOTS

- 10 houses or fewer in a vacant / redevelopment site within a built up area.

LARGE SCALE INFILL

- more than 10 houses in a vacant / redevelopment site within a built up area.

GREENFIELD / EDGE OF TOWN

- the development of a site on the edge of or outside a town or village.

FLATTED INFILL

- the development of a block of flats, irrespective of number of units, on a vacant / redevelopment site within a built up area.

FLATTED DEVELOPMENT WITHIN A LARGE SCALE INFILL OR GREENFIELD / EDGE OF TOWN SITE

- the development of a block of flats, irrespective of number of units, as part of a larger infill development within a town or village, or on a greenfield / edge of town or village site.

Private Garden Ground

SMALL SCALE INFILL DEVELOPMENTS, INCLUDING SINGLE PLOTS

- new development should accord with the established density and pattern of development in the immediate vicinity with reference to front and rear garden sizes and distances to plot boundaries.

FLATTED INFILL DEVELOPMENTS

- flats should reflect the existing scale of buildings and townscape in the immediate environs. Open space need only be provided where surplus land is available following the provision of any off-street parking required.

LARGE SCALE (INFILL) OR GREENFIELD / EDGE OF SETTLEMENT SITE

- the following minimum sizes shall apply:
 - Rear / private garden depth - 9 metres, although where the rear garden does not back onto residential property, this may be reduced if an area of screened side garden of size equivalent

to a rear garden with a 9 metre depth can be provided.

- Front / public garden depth - 6 metres.
- Distance from house to side boundary - 2 metres.
- Distance from house to side boundary when the house has an attached garage - 3 metres.

FLATTED WITHIN A LARGE SCALE INFILL OR GREENFIELD / EDGE OF SETTLEMENT SITE

- 10 square metres per bedspace based upon an occupancy rate of two persons per double bedroom and one person per single bedroom.

Public Open Space

In developments other than small scale and flatted infill sites, public open space is required to be provided to achieve both an appropriate landscape setting for the development and play space.

In such circumstances the following criteria will apply:

- Public open space should be provided at the indicative ratio of 1.64 ha per 1000 population. Population estimates are based upon occupancy rates of two persons per double bedroom and one person per single bedroom.
- It will be the responsibility of the developer to equip the play areas. Children’s play areas and kickabout areas should comprise 0.32 ha per 1000 population.

- Developers may request that the Council take over maintenance of the open space and play areas. The decision is at the discretion of the Council, and will require the following criteria to be achieved:
 - The design and layout of play equipment and safety surface shall be of a design agreed with the Council as part of the planning application process.
 - That an accredited play area inspector confirm the conformity of the design and installation to the relevant standard prevailing at the time.
 - 12 months defects liabilities and warranties shall apply.
 - The land and any associated assets are disposed to the Council free of any charges or fees.
 - That a sum equal to 10 years maintenance of the site is paid to the Council in advance.
- Where the developer selects not to pass maintenance to the Council, it will be a requirement for the obtaining of planning permission that the developer passes ownership and maintenance of all open space and play equipment to a management company. A bond to cover the cost of maintenance and replacement over a 10 year period will also require to be provided.

Location of Play Areas

- Play areas should be located to ensure that they are overlooked, but at the same time must be positioned at least 10 metres distant from the boundary of the nearest residence.
- Where developments are located in close proximity to established parks or play areas, the Council may, in appropriate cases, consider as an alternative to on-site provision of play equipment the supplementing, at the expense of the developer, of existing play equipment in the nearby park or play area. This, however, will not absolve the developer of the requirement to provide amenity landscaped areas to enhance the setting of the development. Toddler play provision may not be required when the developer provides flat rear/private garden ground in excess of 9 metres.



Planning Application Advice Note No. 4

HOUSE EXTENSIONS

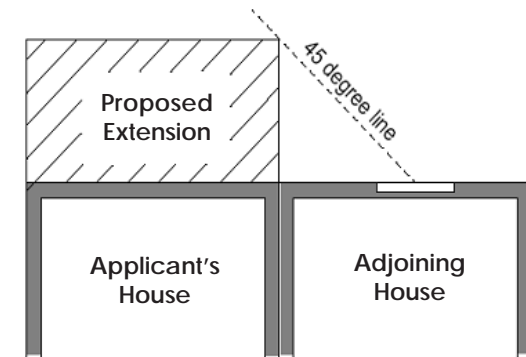
Not all house extensions require planning permission. For works that do require planning permission, this advice note offers guidance on how a house can be extended by achieving a reasonable balance between the interests of those wishing to extend and the interests of their neighbours.

Rear extensions

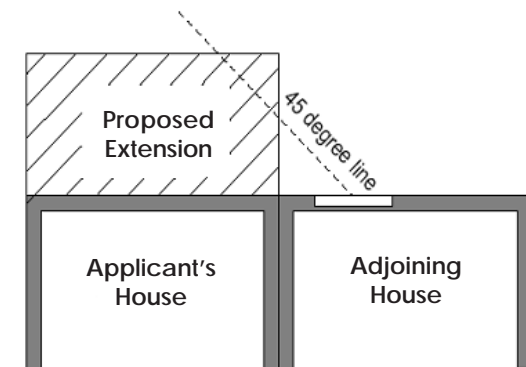
- Single storey extensions should be designed so as not to cross a 45 degree line from the mid point of the nearest ground floor window of the adjoining house, or extend to a maximum of 4.5 metres from the rear wall of the existing house, whichever is the greater.
- Two storey extensions will be considered on individual merit. They must not result in unacceptable loss of light to a room in a neighbouring house. The Council will use the Building Research Establishment publication "Site Layout Planning for daylight and sunlight: A guide to good practice" in making this assessment.
- Where the other half of a semi-detached house has already been extended and that extension exceeds 3.5 metres (two storeys) or 4.5 metres (single storey) then the house may be extended to equal size.
- An extension should not result in more than 25% of the rear garden area being developed. In all cases an extension should not encroach within 5.5 metres of the rear garden boundary.

- Ground level window positions should comply with the window intervisibility guidance. Windows on side elevations should be avoided where they offer a direct view of neighbouring rear/private gardens, but bathroom windows fitted with obscure glazing will be acceptable. Boundary screening of appropriate height may be considered where the design and impact on neighbouring residential amenity is deemed acceptable. Where screening is required, it must either not exceed 2.5 metres or itself result in an unacceptable loss of light to a room in a neighbouring house. The Council will use the Building Research Establishment publication "Site Layout Planning for daylight and sunlight: A guide to good practice" in making this assessment.

- Windows of habitable rooms above ground level should comply with the window intervisibility guidance. Windows on side elevations will only be permitted if the distance to the nearest boundary exceeds 9.0 metres, if there is no direct view of neighbouring rear/private gardens or if it is a bathroom window fitted with obscure glazing.
- The extension should be finished in materials to match those of the existing house.
- The off street parking requirements of the Council's Roads Development Guide shall be met.



Extension not encroaching 45 degree line: Acceptable



Extension encroaching 45 degree line: Inappropriate

Side extensions

- Windows on side elevations should be avoided where they offer a direct view of neighbouring rear/private gardens, but bathroom windows fitted with obscure glazing will be acceptable. Boundary screening of appropriate height may be considered where the design and impact on neighbouring residential amenity is deemed acceptable. Where screening is required, it must either not exceed 2.5 metres or itself result in an unacceptable loss of light to a room in a neighbouring house. The Council will use the Building Research Establishment publication "Site Layout Planning for daylight and sunlight: A guide to good practice" in making this assessment.
- Ground level window positions should comply with the window intervisibility guidance. Windows of habitable rooms above ground level should comply with the window intervisibility guidance. Windows on side elevations will only be permitted if the distance to the nearest boundary exceeds 9.0 metres, if there is no direct view of neighbouring rear/private gardens or if it is a bathroom window fitted with obscure glazing.
- Windows which are visible from public areas shall match the scale, proportions and materials of those on the existing house.
- The roof over extensions should match the existing house roof. Extensions should be set back at least 1.0 metre from the site boundary.
- The off street parking requirements of the Council's Roads Development Guide shall be met.

Conservatories and sun rooms

- Conservatories and sun rooms should be designed so as not to cross a 45 degree line from the mid point of the nearest ground floor window of the adjoining house, or extend to a maximum of 4.5 metres from the rear wall of the existing house, whichever is the greater.
- Where the other half of a semi-detached house has already been ex-tended and that extension exceeds 3.5 metres (two storeys) or 4.5 metres (single storey) then the conservatory or sun room may extend to equal size.
- A conservatory or sun room should not result in more than 25% of the rear garden area being developed. In all cases a conservatory or sun room should not encroach within 5.5 metres of the rear garden boundary.
- Ground level window positions should comply with the window intervisibility guidance. Windows on side elevations should be avoided where they offer a direct view of neighbouring rear/private gardens. Boundary screening of appropriate height may be considered where the design and impact on neighbouring residential amenity is deemed acceptable. Where screening is required, it must not exceed 2.5 metres or it may itself result in an unacceptable loss of light to a room in a neighbouring house. The Council will use the Building Research Establishment publication "Site Layout Planning for daylight and sunlight: A guide to good practice" in making this assessment.

Front porches

- Where applicable, porches should be pitch roofed to match the existing roof.

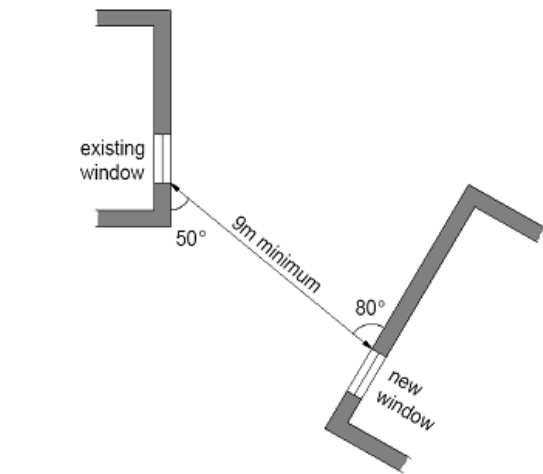
- Base courses should be finished in materials to match the existing house.

Window intervisibility

The table below details acceptable levels of window to window intervisibility. The distances are taken from the shortest point between the windows.

Minimum Window to Window Distances (metres)

	Angle at window of house/extension etc. to be erected not more than:									
	90°	80°	70°	60°	50°	40°	30°	20°	10°	0°
90°	18	18	18	18	13	9	6	4	3	2
80°	18	18	18	13	9	6	4	3	2	-
70°	18	18	13	9	6	4	3	2	-	-
60°	18	13	9	6	4	3	2	-	-	-
50°	13	9	6	4	3	2	-	-	-	-
40°	9	6	4	3	2	-	-	-	-	-
30°	6	4	3	2	-	-	-	-	-	-
20°	4	3	2	-	-	-	-	-	-	-
10°	3	2	-	-	-	-	-	-	-	-
0°	2	-	-	-	-	-	-	-	-	-



Planning Application Advice Note No. 5

BALCONIES and GARDEN DECKING

The topography of Inverclyde provides many houses with spectacular views over the Firth of Clyde. Inland there are often opportunities to view open countryside. There is no objection in principle to balconies being erected, but they must take account of privacy and the impact it may have on neighbours' enjoyment of their gardens.

Garden decking is becoming increasingly popular, and similarly there is no objection to this being erected, but again it must take account of privacy and the impact it may have on neighbours' enjoyment of their gardens.

This Advice Note provides a guide to the issues that are considered in determining applications for planning permission.

Balconies

- The balcony should be restricted in size to allow for limited seating and the enjoyment of wider views. Unless obscured from view from neighbouring housing, it should not be of a size that will afford residents the opportunity of undertaking a wide range of activities over extensive periods of day and evening to the extent that regular and/or continuous activity may impinge upon the enjoyment of neighbouring gardens.
- Where a balcony is positioned within 9 metres of the garden boundary and where there is a view of the neighbouring private/rear garden area, the erection of screening shall generally be required.

Screening may not be required in cases where the balcony does not increase or intensify the intervisibility between and the overlooking of neighbours. Where screening is required and it is in excess of 2.5 metres high within 2 metres of a boundary or will itself result in an unacceptable loss of light to a room in a neighbouring house, then the proposed balcony will not be supported. The Council will use the Building Research Establishment publication "Site Layout Planning for daylight and sunlight: A guide to good practice" in making this assessment.

- The design and position of the balcony shall be appropriate to the architectural design of the house.



Decking in Greenock

Garden Decking

- The position of decking should respect the rights of neighbours to enjoy their gardens without being the subject of intrusive overlooking. If raised, it should not be of a size that will afford residents the opportunity of undertaking a wide range of activities over extensive periods of day and evening to the extent that regular and/or continuous activity may impinge upon the enjoyment of neighbouring gardens.

- Where decking is positioned within 9 metres of the garden boundary and where there is a view of the neighbouring private/rear garden area, the erection of screening, either at the decking edge or the garden boundary shall generally be required. Screening may not be required in cases where the decking does not increase or intensify the intervisibility between and the overlooking of neighbours. Where screening is required and it is in excess of 2.5 metres high, within 2 metres of a boundary or will itself result in an unacceptable loss of light to a room in a neighbouring house, then the proposed decking will not be supported. The Council will use the Building Research Establishment publication "Site Layout Planning for daylight and sunlight: A guide to good practice" in making this assessment.

- The design and position of the decking shall be appropriate to the architectural design of the house.



Decking in Greenock

Planning Application Advice Note No. 6

DORMER WINDOWS

It is appreciated that many households require additional accommodation and that, in many cases, the most cost effective way is to use attic space. Dormer windows can help to maximise the floorspace.

This Advice Note provides a guide to the issues that are considered in determining applications for planning permission.



Design Principles

- Dormers should, preferably, be located at the rear of the house where they will be less conspicuous.

- A dormer should be subordinate to the existing roof in terms of its shape and size and should be set back from the wall head, be below the ridge line of the roof and be set back from the gable ends.
- Exposed fascia boarding on dormers should be used sparingly and should be painted to match the colour of the dormer faces rather than the window frames.
- Where practical the external cladding of the dormer should be similar to that of the original roof.
- Dormers on the hipped gable of a roof should be avoided.
- The window openings of the dormer should, where practical, follow the style, proportion and alignment of door and window openings in the existing house.
- On a building of traditional design, a pitched or sloping roof over each dormer should reflect the architectural style of the building.

Planning Application Advice Note No. 7

WINDOW REPLACEMENT in CONSERVATION AREAS and in LISTED BUILDINGS

The appearance of a building and the impressions of a street and area can be impacted greatly by detailed features such as windows. Where windows are replaced in a piecemeal manner, resulting in a variety of different materials, profiles, colours and methods of opening, the quality of the building can be significantly reduced.

The Council seeks to ensure that the general quality of Inverclyde's built environment is improved to the benefit of all and is required to introduce policies and practice aimed at improving and enhancing the quality of Conservation Areas and Listed Buildings. Planning

Permission is required for replacement windows in a Conservation Area unless the replacement is an exact replica with reference to materials, proportion, method of glazing and method of opening. Listed Building Consent is required if it is proposed to replace windows in a building listed as being of Historical or Architectural Interest.

This Advice Note provides a guide to the issues that are considered in determining applications for planning permission and listed building consent.

Proposals which accord with the following principle will be recommended for approval.

Listed Buildings (Category A and B)

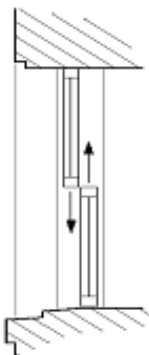
- Replacement windows should match the design of the original windows. For example, if the building was originally fitted with sash and case

windows, traditional timber sash and case windows (top and bottom sashes should slide vertically to open) should be used in all elevations.

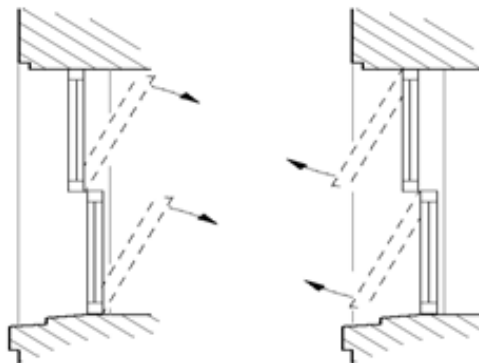
- Windows should be painted to accord with the original colour.
- Where appropriate, glazing bars should match the original in position and size.
- If sash and case windows are required, the bottom sash should be capable of opening inwards.

Listed Buildings (Category C)

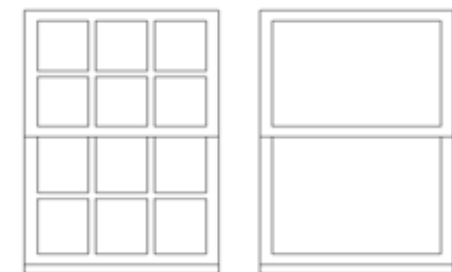
- Replacement windows should match the design of the original windows, although variations to the method of opening will be considered. For example, if the building was originally fitted with sash and case windows, traditional timber sash and



Sliding sash & casement window



Tilting sash & casement:
Acceptable for Category 'C' Listed Buildings
and in Conservation Areas



Glazing bars:
Important to match original

PLANNING APPLICATION ADVICE NOTES

case windows (top and bottom sashes should slide vertically to open) or tilting sash windows manufactured in either timber, uPVC or aluminium with a plasticated wood grain effect finish are acceptable options.

- Windows should be painted to accord with the original colour.
- Where appropriate, glazing bars should match the original in position and size.



Barrhill Road, Gourock

Conservation Areas

The following replacement windows are acceptable :

- Windows should match the design of the original windows, although variations to the method of opening will be considered.

- Traditional timber sliding sash and case (painted in the original colour).
- uPVC sliding sash and case (finished in the original colour).
- Aluminium with a plasticated wood grain effect finish sash and case (finished in the original colour).
- Tilting sash windows in timber, uPVC or aluminium with a plasticated wood grain finish (finished in the original colour).
- Stepped windows with a combination of sliding, tilting or side opening in timber, uPVC or aluminium with a plasticated woodgrain finish (finished in the original colour).
- In all cases glazing bars should match the original in position and size. Bars inserted into double glazed window units are inappropriate.

Planning Application Advice Note No. 8

SITING and DESIGN of NEW HOUSES in the COUNTRYSIDE

Inverclyde's countryside is a valuable resource. Much of it is within the Clyde Muirshiel Regional Park and, in general, development is sparse. It is important that the character of the countryside is retained and that where development occurs it merges into the landscape. Where policies permit the development of new houses, the following design principles apply.

Siting of New Housing

- Prominent positions on skylines, ridgelines and hill tops and, where in silhouette the buildings will break the landform, are inappropriate.
- Buildings should be set into the landform with excavation or infill minimised.
- Sites adjacent to or within groups of other buildings will be favoured.
- Tree belts and wooded areas can be used as a backdrop to a house to minimise the visual impact.

Design of New Housing

EXTERNAL WALL FINISH

- Natural stone or wet dash render are traditional to the Inverclyde countryside and should be used.

BASECOURSES

- Where a traditional wet dash finish is used, it is expected that this will be applied down to ground level.
- Where a basecourse is used, this should be minimal and finished in a smooth cement render.

UNDERBUILDING

- Excessive underbuilding should be avoided.

WINDOWS AND DOORS

- All windows should have a vertical emphasis and be surrounded by a smooth cement margin.
- Doors should similarly be surrounded by a cement margin.

ROOF

- A minimum pitch of 35 degrees should be achieved.
- The roof should be finished in natural slate or a synthetic slate look-a-like tile which reflects the size, colour and edge detail of a natural slate.

EAVES / SKEWS

- Boxed eaves, with large fascia boards and barge boards should be avoided.

ROOFLIGHTS

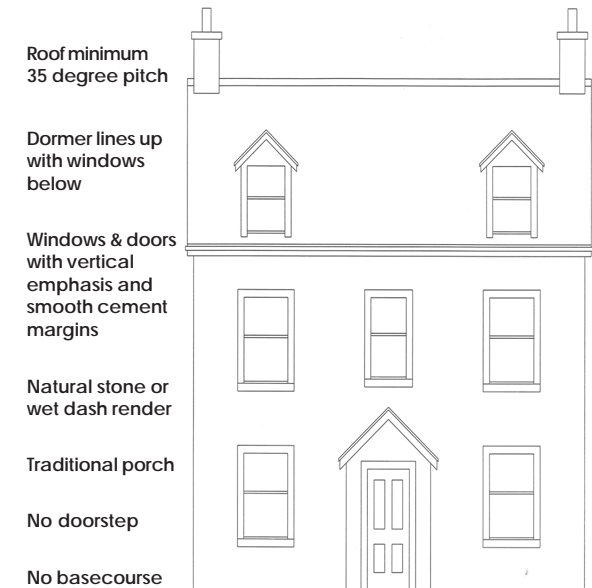
- When required, they should be located at the rear roof plane, have a vertical emphasis and be flush fitted with secret guttering.

DORMERS

- The design of dormer windows should accord with the design guidance contained in **Planning Application Advice Note No. 6** on dormer windows. They should be positioned on the roof to vertically line up with windows and / or doors on the facade below and be symmetrical.

PORCHES

- If required, these should be designed as an integral part of the building.
- Wall finishes, windows, roofs and eaves / skews should reflect the remainder of the building.



PLANNING APPLICATION ADVICE NOTES

Converting Buildings to Residential Use

The conversion or re-use of existing buildings in the countryside for residential use will be acceptable subject to the following :

- The building should be structurally sound, largely intact and capable of conversion without substantial demolition and rebuild.
- A structural survey of the property may require to be submitted to accompany any planning application.
- The original scale, character, proportion and architectural integrity of the building shall remain intact and any extension shall require, at all times, to be subsidiary to the original building.
- Where a traditional building, the detail of design shall follow the criteria specified previously under the heading "Design of New Housing".



Extending Existing Residential Buildings

Residential buildings are of a variety of shapes and sizes and it is important that alterations to such buildings ensure that their original character is maintained. In this respect, any extension to an existing residential building shall require the following:

- To be subsidiary in scale and position to the original dwellinghouse
- To follow the design details specified in the "Design of New Housing" in the case of traditional buildings.

Planning Application Advice Note No. 9

SITING and DESIGN of NEW FARM BUILDINGS

Inverclyde's countryside is a valuable resource. Much of it is within the Clyde Muirshiel Regional Park and, in general, development is sparse. It is important that the character of the countryside is retained and that where development occurs it merges into the landscape.

Siting of New Buildings

- Prominent positions on skylines, ridgelines and hill tops and, where in silhouette the buildings will break the landform, are inappropriate.
- Buildings should be set into the landform with excavation or infill minimised.
- Sites adjacent to or within groups of other buildings will be favoured.
- Tree belts and wooded areas can be used as a backdrop to a house to minimise the visual impact.

Design of New Buildings

ROOFS

- Where traditional roofing material is proposed a minimum 35 degree pitch should be achieved using a natural slate or a synthetic slate look-a-like tile which reflects the size, colour and edge detail of a natural slate. On large buildings requiring wide roof spans, high pitch roofs would

have a significant impact. Also many buildings, for economic reasons, will propose the use of modern materials. Under such circumstances roofs should seek to blend in with the landscape or be finished in a colour to match the farm buildings in the immediate vicinity. Where large buildings use modern materials a low pitch roof should be used. Flat roofs are not appropriate.



Lukeston Farm, Bridge of Weir

WALLS

- Natural stone or wet dash render are traditional to the Inverclyde countryside and are acceptable. Where steel framed buildings are proposed, they should seek to blend in with the landscape or be finished in a colour to match other farm buildings in the immediate vicinity.

Planning Application Advice Note No. 10

SIGNAGE & ADVERTISEMENTS

Signs and advertisements are an integral feature in towns and make an important contribution to the visual appearance of an area. This Advice Note offers guidance on acceptable levels of signage aimed at achieving the balance between traffic safety, visual amenity and the requirement to advertise the presence of a business.

Hoardings

As part of an overall display including, where appropriate, fencing, landscape displays and seating, hoardings can make a positive contribution where used to screen visually prominent industrial and commercial sites, construction sites and vacant / derelict land. Except where applications will lead to a proliferation of hoardings along a street or within an area, proposals which bring about environmental improvement by screening commercial sites and vacant / derelict land will be supported.

Application for hoardings can only be considered with reference to amenity and public safety. As such, applications for hoardings will not generally be supported in the following circumstances:

- rural locations.
- predominantly residential areas.

- on the gables and walls of roadside buildings where the size and siting of a hoarding is considered not to be in keeping with the scale and character of the area.



Advance Directional Signs

Advance directional signs for commercial properties will not generally be supported other than in the exceptional circumstance of being necessary in the interests of road safety. Where appropriate, advance signage should be incorporated within the network of national road signage. Advance directional signage solely for the purpose of advertisement will not generally be permitted and in such circumstances proprietors should consider other means (e.g. the use of newspaper and radio advertisement) as a method of attracting business.

Hotels, Bed & Breakfast, Restaurants and Public Houses

The level of signage permitted will have regard to the location and nature of the premises. In predominantly residential areas signs should be restricted to a single non-illuminated sign. In commercial areas signage will generally be limited to one sign per gable per establishment. Incidental menu boards and directional signs (e.g. Lounge Bar / Restaurant etc.) at appropriate entrances may be acceptable provided they do not lead to clutter. Totem signs are generally only acceptable as an alternative to signage on the building and/or where the building and its function is not clearly evident.

Petrol Filling Stations

It is recognised that petrol brands and prices are important considerations to many motorists. Signage, however, shall generally be limited to positions on the canopy and the kiosk fascia and to a single pole sign. Incidental signage on pumps and around valeting facilities will be acceptable provided they do not lead to clutter. Illumination of signage, where considered to adversely affect nearby residential property or road safety, will not be permissible.

Car Sales

Due to the size of car sales premises sites can, on occasion, be the subject of excessive signage which can present an image of clutter. Signage will be permissible on the same level as petrol filling stations (canopy signage, building fascia

PLANNING APPLICATION ADVICE NOTES

signage and a single totem sign). In addition, incidental advertisement on sale vehicles will also be acceptable. Illumination of signage, where considered to adversely affect nearby residential property or road safety, will not be permitted. The use of flags, flywheels and balloons will not generally be supported.



Free-standing Display Signs / Bus Shelter Signage

Support will generally be given to bus shelter signage when there are no road safety issues. Similarly free-standing display signs, when incorporated in the public facilities (e.g. public toilet / payphones) will generally be supported. All such proposals which fail to preserve or enhance the character or appearance of Conservation Areas, or which adversely affect the setting of a Listed Building will be opposed.

Temporary Event Signs / Flyposting

These will be opposed. Where such signage relates to events within Council property consideration will be given to cancelling lets. In all other cases the Council will give due consideration to seeking prosecution.

Shop Signage

Signage should be limited to one fascia sign and one projecting sign per shop frontage subject to the following criteria :

- Signage should in all cases be limited to the upper fascia.
- In listed buildings and in conservation areas, fascia advertising shall generally be limited to the name of the business with no extraneous logos permitted. Any non-timber fascia panels should have a matt non-reflective finish. Illumination will generally only be permitted by way of individual internally illuminated letters or by appropriately designed downlighters.
- Projecting signs should be positioned at upper fascia level.
- In listed buildings and in conservation areas projecting signs should be top hung from a traditional wrought iron bracket. They should have a maximum dimension of 600mm. Internal illumination is not generally permitted. External illumination may be by trough light.

Planning Application Advice Note No. 11

SHOPFRONT DESIGN

Shopfronts are an important element in the streetscape. Their design can have a significant impact on the appearance of buildings and streets and on the image of a shopping area.

This Advice Note provides a guide to good design features that can enhance the image of the retailer.

Design and Proportion

The design and proportion of the shopfront is based on the framing of the window and door around the fascia board, stallrisers and pilasters. It is inappropriate to consider the shopfront in isolation, as it should reflect the other shopfronts both within the building (if in a tenement or parade of shops) and the street. Replacement shopfronts should comply with following design criteria:

- New shopfronts should either retain or reintroduce traditional high level windowheads and shallow fascias.

- Where alterations have resulted in lowered internal ceilings behind lowered secondary fascias, the high level fascias should be re-introduced with the lower level fascia replaced by mirrored glass.

- Stallriser heights may vary in depth, but are generally between 400 - 500mm. The finish of the stallriser should reflect the overall design on the building and shopfront.

- Pilasters act to delineate each shop and should run the full height of the shopfront through the stallriser, window height and fascia.

- The door and window positions and design should reflect the original design of the shopfront and building and the vertical emphasis.

- There are a variety of different materials available including stone, timber, aluminium, granite, marble and uPVC. Where a shopfront is in a listed building or a conservation area, the material should reflect the status of the building and utilise traditional materials.

- Shopfronts should be finished in any B Range matt or eggshell colour.

Canopies and Awnings

The re-introduction of traditional awnings, recessed at the base of the fascia, will be supported. Awnings should be matt finished canvas or cloth in a colour to reflect the shopfront. Gloss, plastic, or static canopies will not generally be supported.

Security

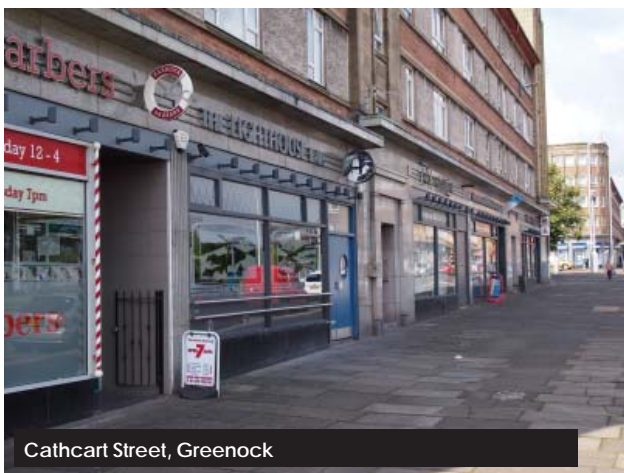
Shop window displays make an important contribution to the vibrancy and interest of shopping areas. This contribution is significant during the evenings when shop front displays are illuminated. This guide is aimed at ensuring that window displays continue to make a contribution while at the same time recognising the need for security.

In listed buildings and in conservation areas roller shutter blinds should comply with the following criteria:

- The shutter should be lattice grilled.
- The shutter should be positioned behind the shop window and / or door.
- The shutter box should be recessed behind the fascia.
- Where external security grilles are required, side hung grille panels, which may be removed daily at the commencement of trade, may be acceptable. Recessed doors may be protected by an appropriately designed security gate.



Grey Place, Greenock



In all other cases, roller shutters which protect the glazing will be permitted providing:

- The shutter should be latticed grilled.
- The shutter box should be recessed behind the fascia or, subject to appropriate design, a sub-fascia.
- In isolated shop units and in exceptional circumstances where evidence recognises a high level of vandalism and burglary, solid external security shutters may be permitted.
- Shutters and grilles should be painted to match shopfront.

Alarm boxes are acceptable in all cases subject to appropriate consideration of their design, size, colour and position.

Signage

Signage should be limited to one fascia sign and one projecting sign per shopfront, subject to the following criteria:

- Signage should in all cases be limited to the upper fascia. Lettering and advertising shall not generally be permitted on any lower fascia or on pilasters.
- In listed buildings and in conservation areas, fascia advertising shall generally be limited to the name of the business with no extraneous logos permitted. Any non-timber fascia panels should have a matt non-reflective finish. Illumination will generally only be permitted by way of individual internally illuminated letters or by appropriately designed downlighters.
- Projecting signs should be positioned at upper fascia level.
- In listed buildings and in conservation areas projecting signs should be top hung from a traditional wrought iron bracket. They should have a maximum dimension of 600mm. Internal illumination is not generally permitted. External illumination may be by trough light.



Regeneration and Planning

Inverclyde Council
Municipal Buildings
Clyde Square
Greenock
PA15 1LY

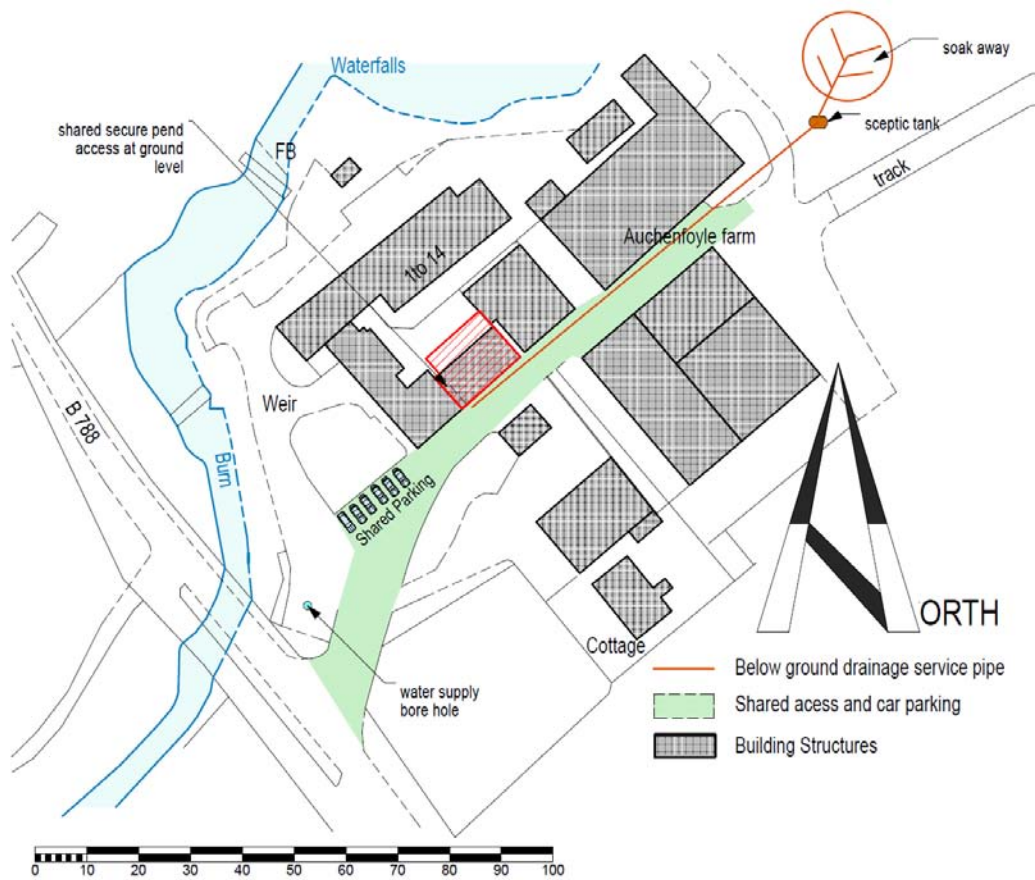
Tel: 01475 717171

E-mail: ldp@inverclyde.gov.uk

Web: www.inverclyde.gov.uk/ldp

5. SUPPORTING DOCUMENT SUBMITTED WITH PLANNING APPLICATION

AUCHENFOYLE FARM:
PROPOSALS FOR THE CONVERSION OF EXISTING DILAPIDATED BUILDING TO
DWELLING HOUSE



AUCHENFOYLE FARM, KILMACOLM

REPORT SUPPORTING PROPOSALS TO CONVERT EXISTING DILAPIDATED AND REDUNDANT BUILDING FORMING MINOR PART OF FARM COMPLEX.

EXISTING BUILDING

Fig.1 identifies the location of the proposed conversion. The proposals are in the immediate proximity and attached to the Main and original farm house. The proposal forms part of a shared (six dwellings) established family and working complex.

The barn (fig. 4) has been in existence for more than one hundred years; and was part of the original farm activities at the outset. It was principally used to house early machinery and the storage of milk and other farm produce. The adjacent building to the north west, houses primarily a biomass heating system which serves the domestic side of the farm dwelling complex. As time passed, the need to house old machinery, and the means of storing and processing foods dwindled and came to an end. As a result, (typically of many buildings out of use in the country side) the facilities lost their usefulness and have ended up materially dilapidated to the extent that they have become unsafe. (fig. 5 to 12). and currently out of use.

The proposals are the ideal opportunity to create a safe and enhanced Courtyard, which will benefit all adjoining properties.

Given the current situation, a collective decision was taken to have the dilapidated building converted to a family dwelling for modern living, and to free additional internal court yard space by taking down the Former Milk Parlour.

The proposals to remove (take down) what was the Former Milk Parlour (fig.16) will add to the shared amenity space (fig. 14) as part of an enlarged courtyard. The existing milk parlour had been added to the farm in the 1970's; is of concrete brick construction, and it is out of character with the rest of the surrounding Buildings.(including the recent converted and added to dwellings). However, the taking down of this building is only feasible if permission is given to utilise the full potential attic space as illustrated on fig .19 and fig.20

The existing building construction is some 600mm thick of randomised stone walls set in concrete and cement mortar, with an internal finish of plaster on lath (currently in a very poor state). The roof is mixture of a large trusses and timber purlins and traditional insitu attic trusses (fig. 7 and 8) overlaid with timber sarking and slates which show a fair degree of nail failure (fig. 15). The existing roof construction suggest development of the buildings at different dates. In

other cases roof structure and coverings have been replaced some 70 years ago and consequently as needed.

The existing roof structure is in poor conditions and would not allow the feasible development for a conversion.

GREENBELT GUIDELINES: DESIGN PROPOSALS AND IMPLICATIONS

Local Plan Policy H18 - Reuse of Buildings in the Green Belt and Countryside.

Where feasible the primary endeavour has been to recognise and to ensure that all Policy guidelines are met and adhered to: considered in the context of the adjacent and near by buildings, and the existing fabric of the proposed building conversion.

The development in the countryside (including Green Belt) is permitted as the proposal is part and parcel and does "*not adversely affect the visual amenity of the area and is capable of satisfactory mitigation*". Fig. 25 to 30, are good and honest examples how the Policy and Green Belt Guidelines have been interpreted and permitted.

The proposals are to build wholly within the footprint of the existing redundant building.

With respect to guidance "a" The part of the building proposed to be converted into a habitable dwelling, is not entirely structurally sound (ref fig. 6 to 10). The existing roof line sags due to years of weathering pressure. The slate roof is tired, with nail fatigue throughout, and the growing moss between the joints, seems to be the only essence that is holding it together. Structural timbers and sarking have been subjected to perennial wetting and drying, and show a fair degree of wet rot damage. essentially the roof coverings and main structure require to be replaced.

Following on from the on site survey, it is not structurally feasible to retain all the structure and to work within the physical limitations of the existing construction. In order to maintain the character of the building, including the existing roof scale, from the visual access side (front elevation), it is proposed to remove the existing roof, and retain the existing external walls. A new roof would then replace the existing, whilst ensuring that the ridge level, and slope of the roof, is maintained and retained. All salvaged roof cover materials would be reused (where feasible) in order to maintain and continue the existing building characteristics, particularly on the front elevation approach side.

On the shared courtyard side, in order to make the project feasible with habitable rooms in the loft area, the roof pitch would have to change as illustrated (fig.19). Without the alteration to the roof pitch, on the courtyard elevation, there would be no feasible scope to develop the loft area. The alternative would then

be to retain the Former Milk Parlour for bedrooms development. This would mean that the shared courtyard amenity space would remain as it currently is, with no amenity enhancement for the existing neighbouring properties.

We believe the proposals respect the existing character of the adjacent and nearby buildings, in scale, form, material, and design. They add to the shared courtyard amenity, and by removing the presently somewhat dangerous dilapidation, the proposals add to the cohesion and enhancement of the existing group of houses.

PROPOSAL DEVELOPMENT (brief summary)

A first proposal was undertaken with a pre-planning discussion taking place at Inverclyde Council Planning Offices.

Fig. 21 shows original proposals with a mansard type roof. This option would have ensured a fairly easy construction build; it added to the external fabric wall height, and would have given a spacious accommodation for an expanding family.

The feedback was constructive, and as a result the current proposals offered for consideration are as illustrated on the Plans submitted and as described in the design proposals. The front access elevation, as discussed, has now two dormers, which may be clad in traditional render or slate (fig. 25 - 26)

The proposed dwelling is for a family home. The Applicant Mr, Darren Black, has grown up on the farm. His mum and dad, and relatives live and work on the farm. Mr Darren Black and his spouse, are very much family orientated and their wish, as is the wish of parents and relatives, is to develop one part of the existing redundant building, into a family home, where they can be supported, and in turn support their relatives, for a good many years to follow.

It is, therefore, with excitement and anticipation, and trust that the proposals will meet most, of the guidelines, as advised and interpreted.

Eraldo murphy, Bsc Hon. Barch

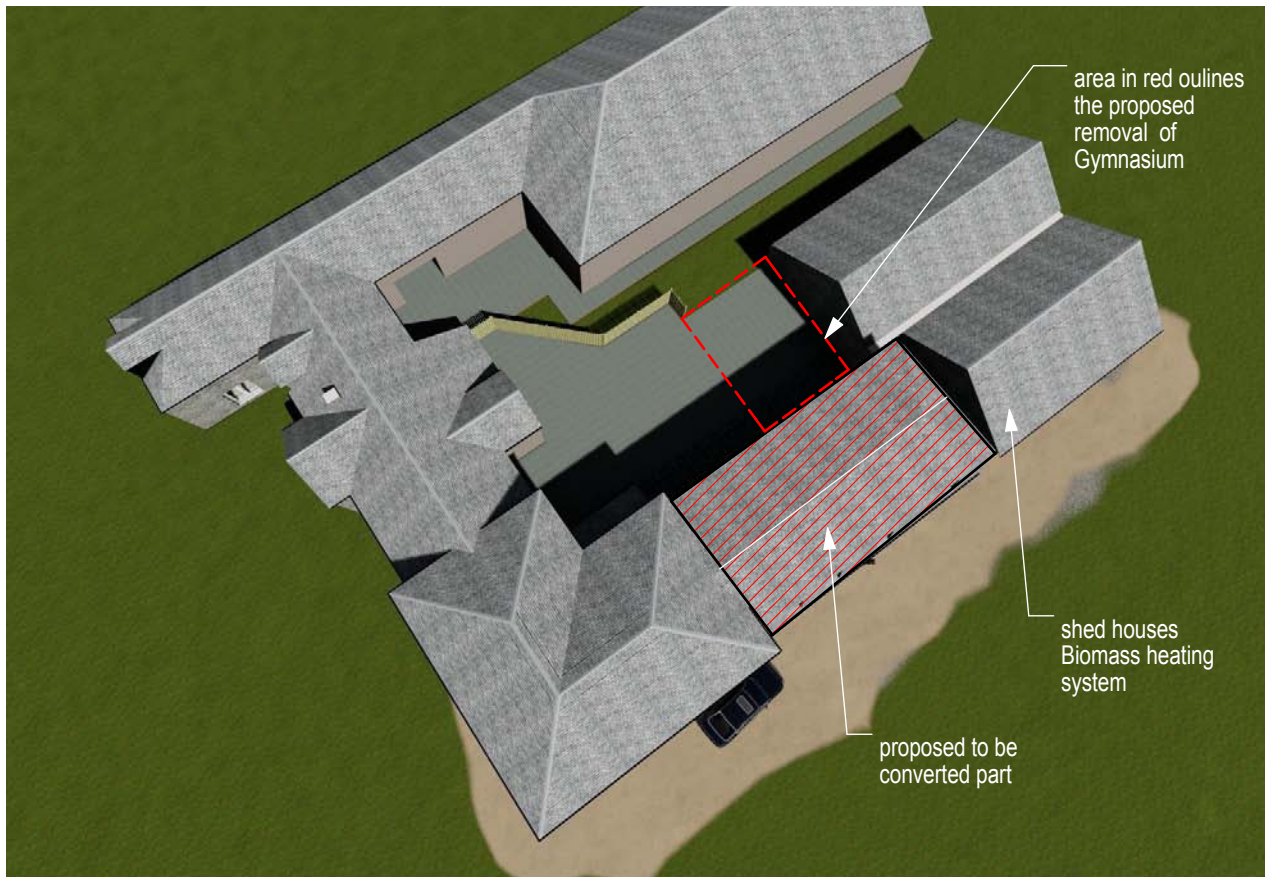


Fig.1 front access elevation: showing mansard roof and articulation. Balconies designed to take advantage of south orientation



Fig.2 front access perspective: showing proposed roof line in keeping with existing



Fig.3
Main farm house: front elevation

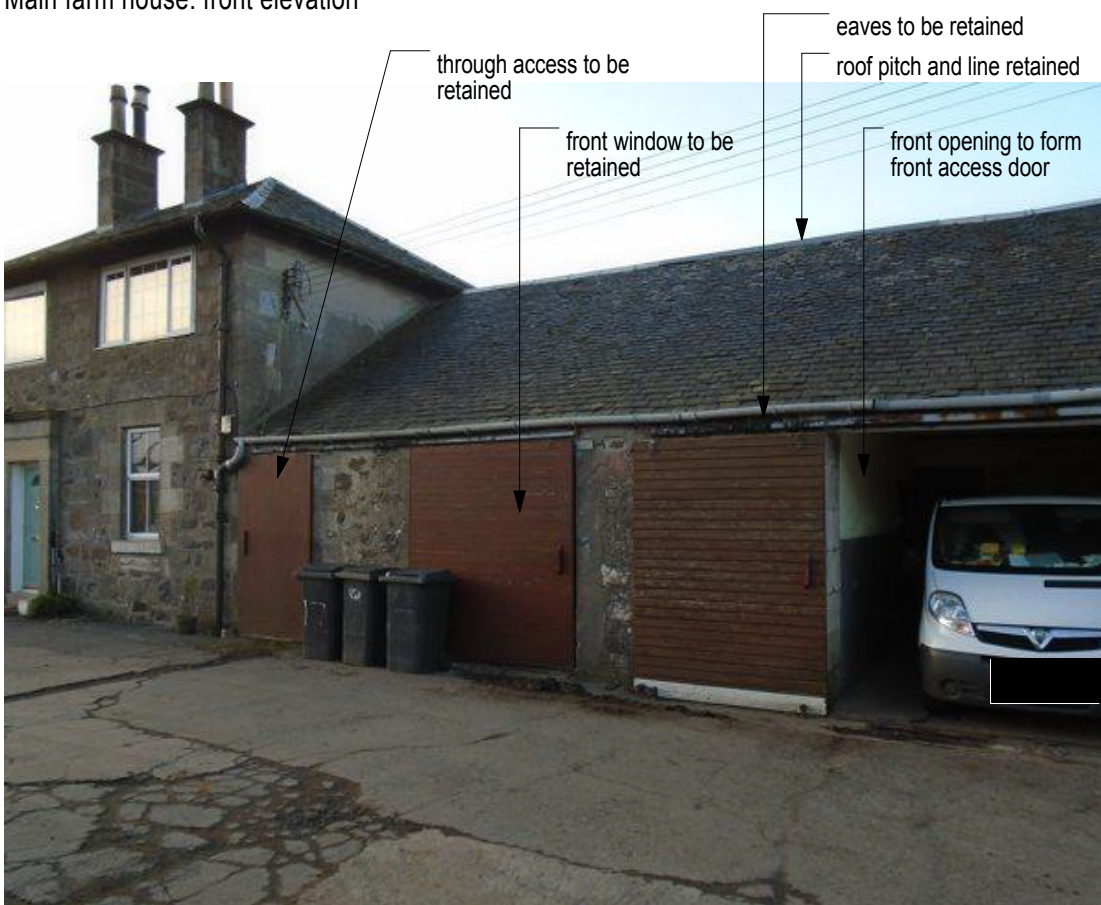


Fig.4
Existing adjoining building part proposed to be converted



Fig.5
Roof covering walk way. Perimeter beam and rafters have been severely effected by wet rot.
Timber lath rendered sloping celing require to be removed.



Fig.6
internal access to Former Milk Parlour, showing
varying degree of fabric dilapidation



Fig.7
Roof showing main truss and purlins



Fig.8
Roof showing traditional attic trusses in adjoining bay



Fig.9
Internal:showing redundant secure milk pocessing storage



Fig.10
Internal:in directionm of front facing existing access (retained as proposed for front Living room)



Fig.11
Internal: view-1 Former Milk Parlour



temporary
visqueen to
mitigate rain
water damage
and condensation

Fig.12
Internal: view-2 Former Milk Parlour



Fig.13
Enclosed courtyard as existing



Fig.14
Enclosed courtyard as proposed: enhanced amenity space



Fig.15
Courtyard View-1. showing main farm house and adjoining dwelling



Fig.16
Courtyard View-2. Former Milk Parlour



Fig.17
Courtyard View-1. typical existing rendered extension



Fig.18
Courtyard View-1. typical existing rendered conversions and extensions (Former Milk Parlour in foreground to the right)



Fig.19

cross section showing proposed roof slopes, (ensure compliance with Building (Scotland) regulations (upper floor to ceiling height limited to 2.2m, ensuring existing roof ridge line is retained at existing height)



Fig.20

Proposed upper floor layout, (dormers essential to increase usable and functioning space)



Fig.21
Front access elevation: showing mansard roof and articulation. Balconies designed to take advantage of south orientation



Fig.22
Court yard elevation with Gymnasium removed, to enhance and augment amenity space.

Previous front and back elevations elevation proposals

Current front elevation proposals



Dormers cheeks may be cladded with white render on lath, or with a slate rainwall



Fig.25



Fig.26



Fig.27
New dwelling short listed for house of RIBA house of the year in country side (Scotland)



Fig.28
building complex arranged in Barn-like juxtaposition (but thoroughly modern)

New dwelling short listed for house of RIBA House of the Year (2017) in country side (Scotland)



Fig.29

Sample-1 New Dwelling inside old barn ruin: view-1



Fig.30

Sample-1 New Dwelling inside old barn ruin: view-2

**6. STRUCTURAL SURVEY DATED 13 MARCH 2018
SUBMITTED BY APPLICANT IN SUPPORT OF
PLANNING APPLICATION**

Eraldo Architects
71 Wright Street
Renfrew
PA4 8AS

13th March 2018

Dear Eraldo,

Conversion of Barn into a Habitable Dwelling - Auchenfoyle Farm, by Kilmacolm - Structural Survey

Further to your recent instruction, I confirm having undertaken a structural survey of a vacant store and outbuilding within the farm steading on the afternoon of Tuesday 27th February 2018.

I understand that you have recently made a planning application to Renfrewshire Council to convert the buildings into a dwelling. Please refer to Appendix A for the farm layout showing the buildings surveyed.

The purpose of my survey was therefore to give comment on the existing condition of the structure of the premises and to confirm, or otherwise, their suitability for inclusion within a new dwelling.

I offer the following report:

Please refer to Appendix A for the farm plan showing the building location and to Appendix B for record photo's taken during my visit.

My survey has taken the form of a visual inspection only. I have not removed any finishes or exposed any foundations during my inspection. I have also not inspected areas which were covered, unexposed or inaccessible therefore unable to confirm that any hidden areas are free from defect.

I do however consider that sufficient access was available to allow me to give reasoned opinion on the condition of the premises at this time.

Building Description

The subject premises is formed of a short run of single storey traditional built outhouse/storeroom areas, located on the southwest face of the farm steading, ref Fig 1.

- The external walls are approximately 550mm thick, built from random masonry with lime mortar.
- The internal sub division walls are formed in brick with a cement render finish.
- The roof is of traditional collared and oxtored construction with slate covering.
- The ground floor is formed from cast-in-situ concrete ground bearing floor slab.

Structural Survey Points

I offer the following points of note from my survey.

- a. The external walls all appear to be in reasonable condition and while these are localised areas of mortar loss or weathering to the store face, these are not of structural significance at this point.
- b. All external walls appear plumb at this point.
- c. The roof over the full plan area of the building is in poor condition and in my opinion has reached the end of its useful service life.
- d. The internal walls are largely in reasonable condition however I anticipate that most, if not all of these, will need to be removed to accommodate the new house internal room layout.
- e. The ground floor slab is in average condition however I again anticipate that most of the concrete slab will need to be removed to accommodate a new damp proof course and necessary insulation below the floor slab.

Structural Summary

Based on my survey I assume that what will be left for redevelopment will largely be the stone perimeter walls.

I confirm that these are in fair to good condition and can be retained for inclusion within a new dwelling.

I am satisfied that after completion, the retained elements of the present store/outbuildings can successfully be incorporated into the new dwelling and when complete, these will all have a remaining life equivalent to that of the new dwelling.

I trust you find this to be of assistance.

[REDACTED]
Yours sincerely,
[REDACTED]

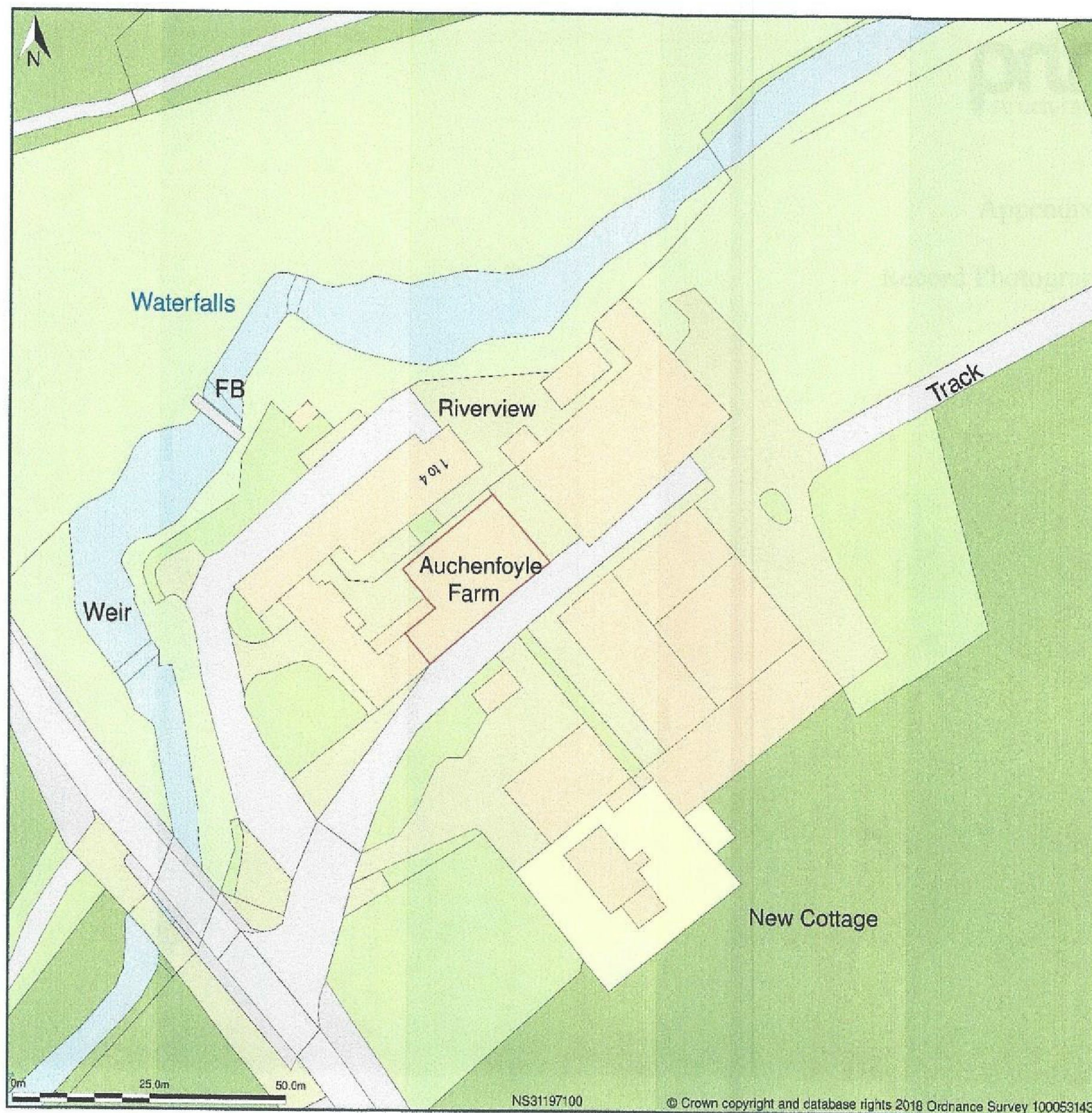
Jim Adams Bsc(Hons) C.Eng, M.I.Struct. E.
For Prime Structural Solutions
[REDACTED]

JA/RJ/18 1087

Appendix A

Location Plan

Auchenfoyle Farm, Auchenfoil Road, Kilmacolm, Inverclyde, PA13 4TH



Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018



Photo 1

View shows front elevation of outbuilding considered for conversion into a new dwelling

Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018

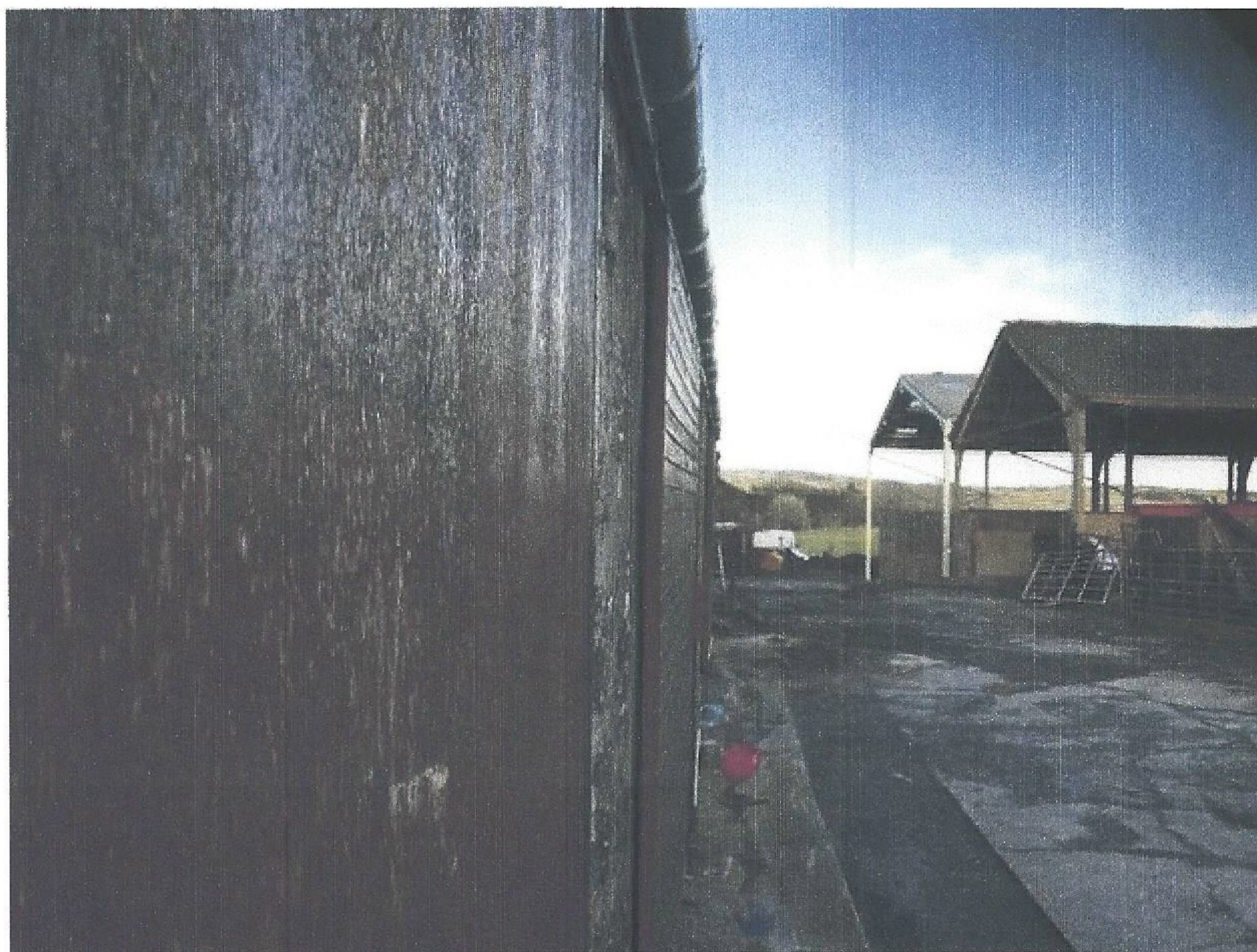


Photo 2

View along length of the front elevation. Wall is plumb and shows no sign of distress, recent or ongoing

Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018

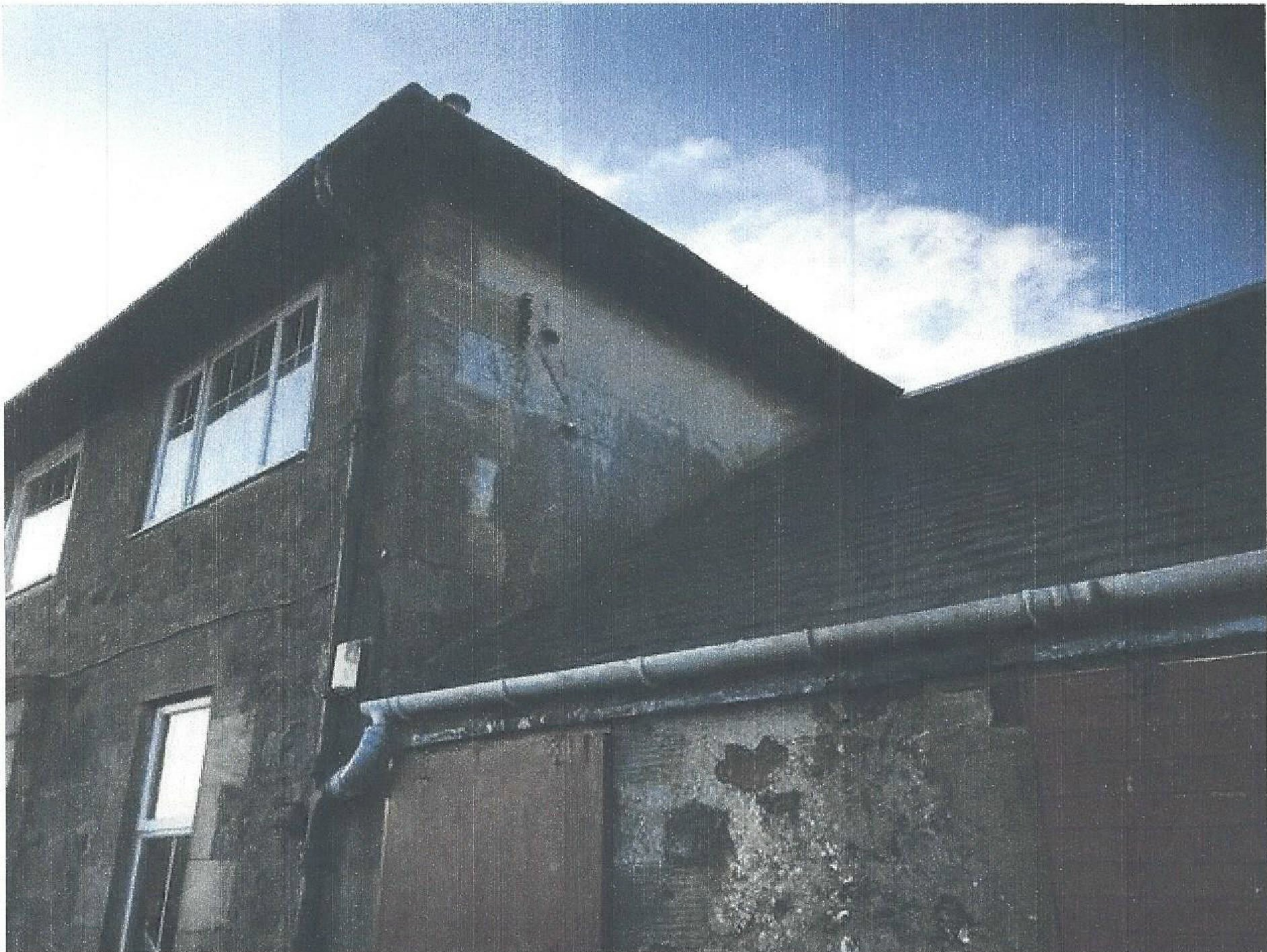


Photo 3

Views shows existing outbuilding at junction with the main house. No evidence of any distress or movement was noted.

Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018



Photo 4

View shows rear elevation of store/ outbuilding. No evidence of any significant distress or sign of previous or ongoing movement was noted.

Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018

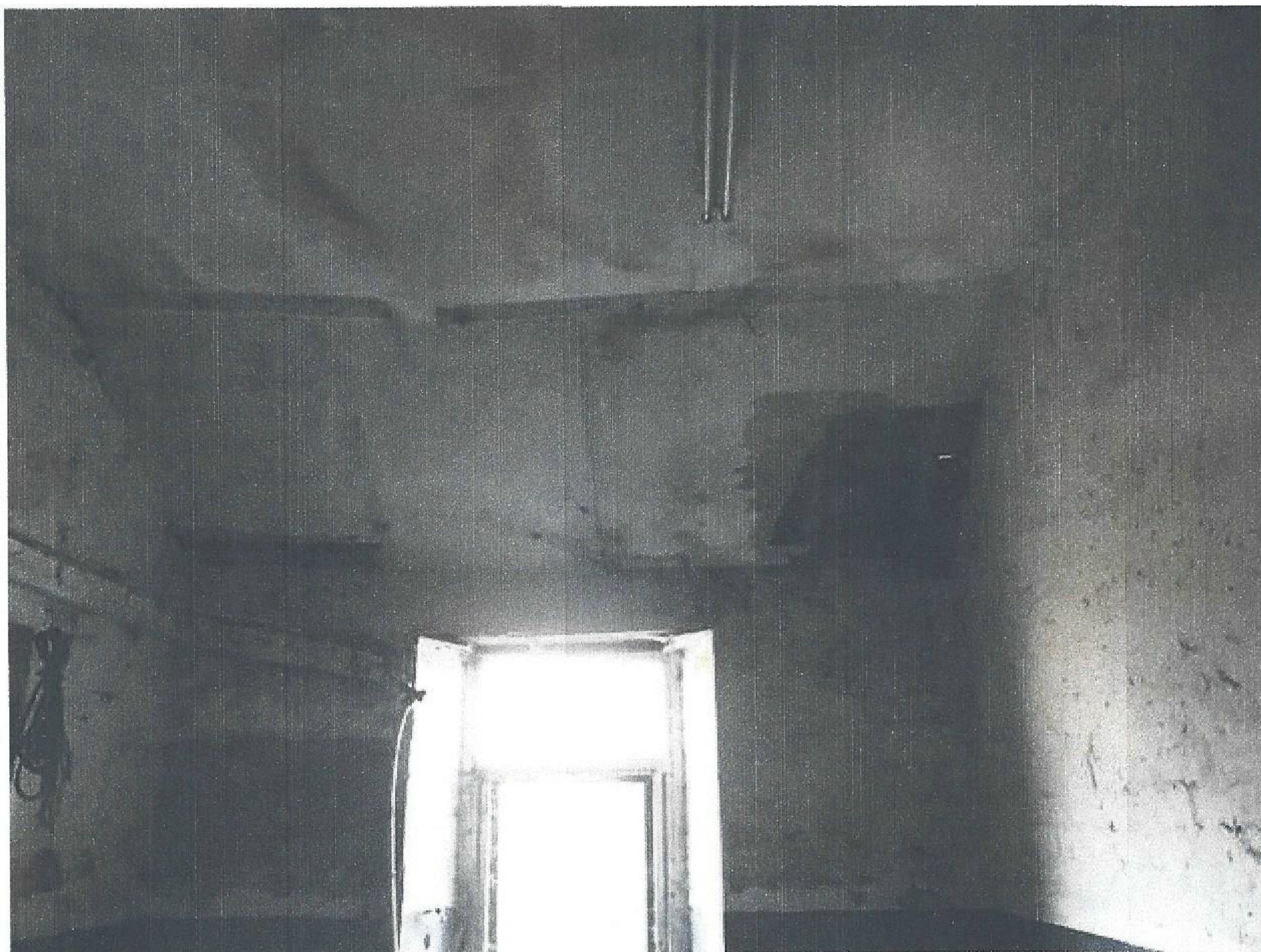


Photo 5

View within building. Walls all plumb however ceiling/ roof shows sign of deterioration

Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018



Photo 6

Another internal view. Masonry walls are plumb and stable however ceiling roof shows sign of deterioration.

7. BAT SURVEY DATED MAY 2018 SUBMITTED BY APPLICANT



AMANITA
Wildlife Consultants

**Bat Roost Suitability Survey of
Buildings at Auchenfoyle Farm
Kilmacolm**

**Prepared for
Heather Black
by
Amanita Wildlife Consultants**

May 2018

3 Paxton Place
Kilmarnock
KA1 3HL
Tel: 01563 572526
Email:
tom@amanitawildlife.com

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Landscape Ecology	8
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EXECUTIVE SUMMARY

1. Amanita Wildlife Consultants was commissioned to provide an initial bat roost suitability survey of buildings at Auchenfoyle Farm, Kilmacolm as part of the planning process prior to alterations to the buildings.
2. This survey was carried out by Tom Hastings, Scottish Natural Heritage licenced bat worker, licence number 14224 and Barbara Hastings an experienced bat worker.
3. Signs of bats using the farm were found and features with the potential to support roosting bats were noted.

1. INTRODUCTION

LEGISLATION

- 1.1. All bats are European Protected species and they and their places of shelter are protected in Scotland by the Conservation (Natural Habitats Etc) Regulations 1994 (as amended). This legislation makes it an offence, amongst other things, to wilfully or recklessly:
 - capture, injure or kill a bat;
 - to disturb a bat while it is occupying a structure or place it uses for shelter or protection;
 - to disturb a bat while it is rearing or otherwise caring for its young;
 - to obstruct access to a breeding site or resting place of a bat or to otherwise deny use of a breeding site or resting place;
 - damage or destroy a breeding site or resting place of a bat.
- 1.2. In addition it is an offence of strict liability to damage or destroy a breeding site or resting place of a bat. These sites and places are protected whether the animal is present or not.
- 1.3. Activities which may affect bat shelters can only be legitimately carried out if a licence under Regulation 44(2) of the Conservation (Natural Habitats &c.) Regulations 1994 (as amended) has been granted.

2. ECOLOGY

- 2.1. Bats require three landscape features for their survival:
 - roosting sites;
 - feeding sites and;
 - navigational corridors (flyways) to travel between the two.

- 2.2. During the year bats will use different roost sites for different purposes and different species of bats will use different types of roost sites. Bat roost sites include buildings, bridges, trees, caves and mines.
- 2.3. In late spring numbers of female bats congregate in 'maternity roosts' where they give birth and spend the summer raising their young. Male bats roost apart from females in groups of one or two in 'bachelor roosts' which are separate from but near to the maternity roosts.
- 2.4. Bats also use night roosts for resting for short periods during the night and some bats use feeding stations for feeding on large insects which cannot be dealt with in flight.
- 2.5. They navigate and hunt by making high frequency sound calls and listen to the echoes returned from these calls by objects in their environment. This is termed 'echolocation' and, by the use of electronic 'bat detectors', these calls can be heard and used to determine the species and behaviour of the bat making the call.
- 2.6. All British bats eat insects so feed in places, for example woodlands, near ponds or above rank grassland, where insects are abundant. They follow linear features such as woodland edges, paths, roads or domestic gardens to navigate from roosting to feeding sites. Loss of such linear features can adversely affect the ability of bats to successfully feed.
- 2.7. They also use 'waymarkers', fixed objects in the landscape such as buildings, trees and rivers as navigational aids to determine their position and direction of travel, in a manner analogous to a motorist using road signs.
- 2.8. Bats have a daily routine whereby they waken shortly before dusk and communicate for around half an hour using low frequency calls. These 'social calls' can be detected and are indicative of the presence of a roost. They leave their roost sites sometime around dusk (the time varies from species to species) fly to their individual feeding sites and spend the night feeding with frequent rests in 'night roosts' to digest their food.
- 2.9. Bats return to their roost sites around dawn where they fly round the roost for some time before they finally enter, a behaviour called 'swarming'. Swarming bats are very visible and this behaviour allows roost entrances to be identified.

3. METHODOLOGY

- 3.1. All survey methodology followed best practice outlined in the Guidelines for Ecological Impact Assessment (2006) published by the Institute of Ecology and Environmental Management (IEEM) and Guidelines for Baseline Ecological Assessment (1995), published by the Institute of Environmental Assessment, now the Institute of Environmental Management and Assessment (IEMA).
- 3.2. Survey methodology also followed best practice as published by the Bat Conservation Trust¹

BAT ROOST SUITABILITY SURVEY

- 3.3. As bats follow a yearly cycle of hibernation in winter followed by formation of colonies (roosts) in summer, it is not possible to fully determine bat use of a structure in any one season. However structures that may be used by roosting bats, in summer or winter, such as trees, buildings, bridges and caves, can be assessed at any time of the year in terms of their bat roost suitability - that is their likelihood of supporting bats.
- 3.4. BRS is based on the presence of features that research has shown as typically supporting bats. The Bat Conservation Trust, BCT, has produced guidelines for the assessment of BRS and these are summarised in Table 2.1

BRS	Potential Features
Low	One or two minor opportunities for individual bats (historically available to bats for less than 10 years) but unlikely to be hibernation or maternity roost sites.
	Isolated sites not connected by prominent linear features.
	Example features: a few loose roofing slates, small sections of raised flashing.
Moderate	Features providing more secure opportunities for individual or small groups of bats (historically available to bats for 10-30 years).
	Several potential roost sites in the structure.
	Site connected to the wider landscape by linear features which could be used by

¹ Collins, J.(ed.) (2016) Bat Surveys for Professional Ecologists: Good Practice Guidelines (3rd edn), The Bat Conservation Trust, London

	bats for navigation purposes.
	Example features: holes in brickwork, central heating.
High	Features of particular significance for high priority roosts used by large numbers of bats. (Historically available to bats for more than 30 years and possibly used by several generations of bats).
	Features offering conditions for bats that are uncommon in the local area.
	Proximity to known roost sites.
	Site is connected to the wider landscape by strong linear features such as rivers, burns, woodlands and hedgerows.
	Example features: deep soffits with access holes, extensive loose and missing roof tiles, holes in brickwork with access to loft space.
Confirmed roost	Evidence found that the structure is used by bats, such as droppings, dead or living bats.

Table 2.1: Criteria for Assessing Bat Roost Suitability

- 3.5. If a structure is found to be of low, moderate or high suitability, further surveys to determine bat use of the structure are required before work can be carried out legally.

DESK STUDY

- 3.6. Existing bat records for the 2 km square containing the site were sourced. Any records more than 10 years old were discounted. Records of sites designated for their ecological importance and lying within 2 km of the sites were obtained from the Scottish Natural Heritage (SNH) 'Sitelink' website² and the DEFRA 'Magic' website³.

LANDSCAPE ECOLOGY

- 3.7. Maps and aerial photographs were used to assess the value of the local landscape to bats for navigation and foraging.

² <http://www.snh.gov.uk/publications-data-and-research/snhi-information-service/sitelink/>

³ <http://www.magic.gov.uk/>

4. RESULTS

DESK STUDY

- 4.1. Records of Common Pipistrelle, *Pipistrellus pipistrellus*, Soprano Pipistrelle, *P. pygmaeus*, Daubenton's bat, *Myotis daubentonii*, and Brown Long Eared bat *Plecotus auritus* within the 10 km square containing Auchenfoyle Farm were found.
- 4.2. No protected areas lie within 3.0 Km of the farm.

LANDSCAPE ECOLOGY

- 4.3. Auchenfoyle Farm is situated beside the B788, about 2Km east of Kilmacolm, Inverclyde. The farm is situated in a rural landscape of fields and copses of trees. The Gryfe Water runs from east to west just to the north of the farm.
- 4.4. These landscape features provide excellent feeding opportunities and navigational aids for bats.

BAT ROOST POTENTIAL SURVEY

- 4.5. This survey was carried out on the morning of Friday 4th May 2018. The temperature was 10° C and the weather was dry after a period of dry weather.
- 4.6. The farm buildings surveyed consisted of a number of stone built, slate roofed buildings, some surrounding a courtyard. All the buildings had slate roofs in poor condition with lifted and broken slates and lifted flashing, these being common sites for bats to roost.
- 4.7. An examination of the courtyard revealed a few bat droppings, similar to those produced by *Pipistrelle spp.*, two on the window of a stone building adjacent to a dwelling house (**Fig.1**) and one on the glass door of the house. (**Fig.2**). A hole deep into the interior of the wall of the building was noted at the eaves but endoscopic examination did not reveal any signs of bats associated with the hole.
- 4.8. A loft search found no sign of bats using the loft space.
- 4.9. No droppings or other bat signs were found associated with the remainder of the buildings surveyed, but all of them had roofs in poor condition with holes, missing slates and gaps at the wall head (Figs. 3- 5).



Figure 1 – View of courtyard showing positions of bat droppings on window.



Figure 2 – View of courtyard showing position of bat dropping on door.



Figure 3 – Lifted Flashing on Roof of Building.



Figure 4 – Missing, Loose and Raised Tiles



Figure 5 – Raised and Missing Tiles on Building.



Figure 6 – Bat Droppings on External Window.

5. DISCUSSION AND RECOMMENDATIONS

- 5.1. The droppings found on the windows of the buildings in the courtyard are likely to have been deposited by bats flying near to the buildings foraging for insects rather than bats leaving a roost.
- 5.2. Although no direct signs of roosting bats were found, the roofs of the various buildings do provide a large number of opportunities for roosting bats, especially for male roosts, and as droppings, showing that bats are probably feeding around the buildings, the farm has been scored as having a **Moderate Bat Roost Suitability**.
- 5.3. Good Practice Guidelines mandate that for structures of moderate bat roost suitability, two further bat surveys, one at dusk when bats leave their roosting sites and one at dawn when they return to their roosts are carried out before work can be done. The surveys must be carried out between May and September and should be at least two weeks apart.
- 5.4. Birds were seen entering and leaving the rear of the roof of the stone building adjacent opposite dwelling house and it is possible that they are breeding in the roof space. It is an offence in Scotland under schedule 1 of the Wildlife and Countryside Act 1981 to “intentionally or recklessly disturb any wild bird listed in Schedule 1 while it is nest-building or is at or near a nest with eggs or young; or disturb the dependent young of such a bird.” The nesting season is taken to be from 1st of March to 31st of July.

Tom Hastings BSc (Hons), MCIEEM

Aminita Wildlife Consultants

11th May 2017

8. CONSULTATION RESPONSES IN RELATION TO PLANNING APPLICATION

To: Head of Regeneration & Planning
Your Ref: 17/0415/IC
Our Ref: EP/14/04/17/0415/IC
From: Head of Environmental & Commercial Services
Contact: E Provan [REDACTED]
Tel: (01475) 714814
Subject: Observations On Planning Application
PA Ref: 17/0415/IC
Detail: Conversion of outbuilding to a dwellinghouse
Dated: 18/01/2018
Received: 18/01/2018
Site: Auchenfoyle Farm, Auchenfoyle Road,
 Kilmacolm, PA13 4TH
Applicant: Mr Darren Black

Type of Consent: Detailed Permission/ ~~In Principle/ Approval of Matters/ Change of Use~~

Comments:

1.	Parking should be provided in accordance with the National Guidelines:						
	<table> <tr> <td>1 bedroom</td><td>1 parking space</td></tr> <tr> <td>2-3 bedrooms</td><td>2 parking spaces</td></tr> <tr> <td>4 bedrooms</td><td>3 parking spaces</td></tr> </table>	1 bedroom	1 parking space	2-3 bedrooms	2 parking spaces	4 bedrooms	3 parking spaces
1 bedroom	1 parking space						
2-3 bedrooms	2 parking spaces						
4 bedrooms	3 parking spaces						
2.	The conversion of the outbuilding will provide a 4 bedroom dwelling house. This requires the provision of 3 parking spaces. The proposed site can accommodate 6 parked vehicles. This includes provision for the other dwelling house on the farm. The houses will accommodate staff on the farm and therefore the parking provision is acceptable.						
3.	Drainage details to be submitted for approval						
4.	Confirmation that the Septic tank is in accordance with SEPA's regulations						

Notes For Intimation To Applicant

Construction Consent (S21)*	Not Required/ Required for all road works
Road Bond (S17)*	Not Required/ Required if building works are to be undertaken before roads are completed
Road Opening Permit (S56)*	Not Required/ Required for all works in the public road
Other	Not Required/ ***

*Relevant Section of the Roads (Scotland) Act 1984

Signed: [REDACTED]
Steven Walker, Service Manager (Roads)

Date: 62/03/2018

Memorandum	
Safer Communities Planning Application Consultation Response	
To: Planning Services For the Attention of : Carrie Main	
From: Environmental & Public Protection	Date sent to Planning : 2nd Aug 2018

Lead Officer: Sharon Lindsay	
Tel: 01475 714 200	Email: sharon.lindsay@inverclyde.gov.uk

Safer Communities Reference (optional):	
Planning Application Reference:	17/0415/IC
Planning Application Address:	Auchenfoyle Farm Auchenfoyle Road Kilmacolm PA13 4TH
Planning Application Proposal:	Conversion of outbuilding to a dwelling house

Team	Officer	Date
Food & Health	Michael Lapsley	
Air Quality Contaminated Land*	Sharon Lindsay	2/8/18
	Roslyn McIntosh	2/8/18
Public Health & Housing	Janet Stitt	2/8/18
Noise	Sharon Lindsay	2/8/18

Amend table entries as appropriate and insert date when each officer review is completed.

***Historically this site operated at a depot for milk haulage. There were two fuel pumps and buried fuel tanks situated adjacent to the proposed development area. Our records also indicate there was fuel leakage (a tank had to be replaced).**

Recommended Conditions:

It is recommended that the undernoted conditions be placed on any consent the council may grant:

Delete or amend as appropriate

Food & Health

No Comments

Air Quality

No Comments

Contaminated Land

1. That prior to the start of development, details of a survey for the presence of Japanese Knotweed shall be submitted to and approved in writing by the Planning Authority and that, for the avoidance of doubt; this shall contain a methodology and treatment statement where any is found. Development shall not proceed until appropriate control measures are implemented. Any significant variation to the treatment methodology shall be submitted for approval, in writing by the Planning Authority prior to implementation.

Reason: To help arrest the spread of Japanese Knotweed in the interests of environmental protection.

2. That the development shall not commence until an Environmental Investigation and Risk Assessment, including any necessary Remediation Scheme with timescale for implementation, of all pollutant linkages has been submitted to and approved, in writing by the Planning Authority. The investigations and assessment shall be site-specific and completed in accordance with current codes of practice. The submission shall also include a Verification Plan. Any subsequent modifications to the Remediation Scheme and Verification Plan must be approved in writing by the Planning Authority prior to implementation.

Reason: To satisfactorily address potential contamination issues in the interests of human health and environmental safety.

3. That before the development hereby permitted is occupied the applicant shall submit a report for approval, in writing by the Planning Authority, confirming that the works have been completed in accordance with the agreed Remediation Scheme and supply information as agreed in the Verification Plan. This report shall demonstrate that no pollutant linkages remain or are likely to occur and include (but not limited to) a collation of verification/validation certificates, analysis information, remediation lifespan, maintenance/aftercare information and details of all materials imported onto the site as fill or landscaping material. The details of such materials shall include information of the material source, volume, intended use and chemical quality with plans delineating placement and thickness.

Reason: To ensure contamination is not imported to the site and confirm successful completion of remediation measures in the interest of human health and environmental safety.

4. That the presence of any previously unrecorded contamination or variation to anticipated ground conditions that becomes evident during site works shall be brought to the attention of the Planning Authority and the Remediation Scheme shall not be implemented unless it has been submitted to and approved, in writing by the Planning Authority.

Reason: To ensure that all contamination issues are recorded and dealt with appropriately.

Public Health & Housing

5. The applicant shall submit to the Planning Authority a detailed specification of the containers to be used to store waste materials and recyclable materials produced on the premises as well as specific details of the areas where such containers are to be located. The use of the development shall not commence until the above details are approved in writing by the Planning Authority and the equipment and any structural changes are in place.

Reason: To protect the amenity of the immediate area, prevent the creation of nuisance due to odours, insects, rodents or birds.

6. All external lighting on the application site should comply with the Scottish Government Guidance Note “Controlling Light Pollution and Reducing Lighting Energy Consumption”.

Reason: To protect the amenity of the immediate area, the creation of nuisance due to light pollution and to support the reduction of energy consumption.

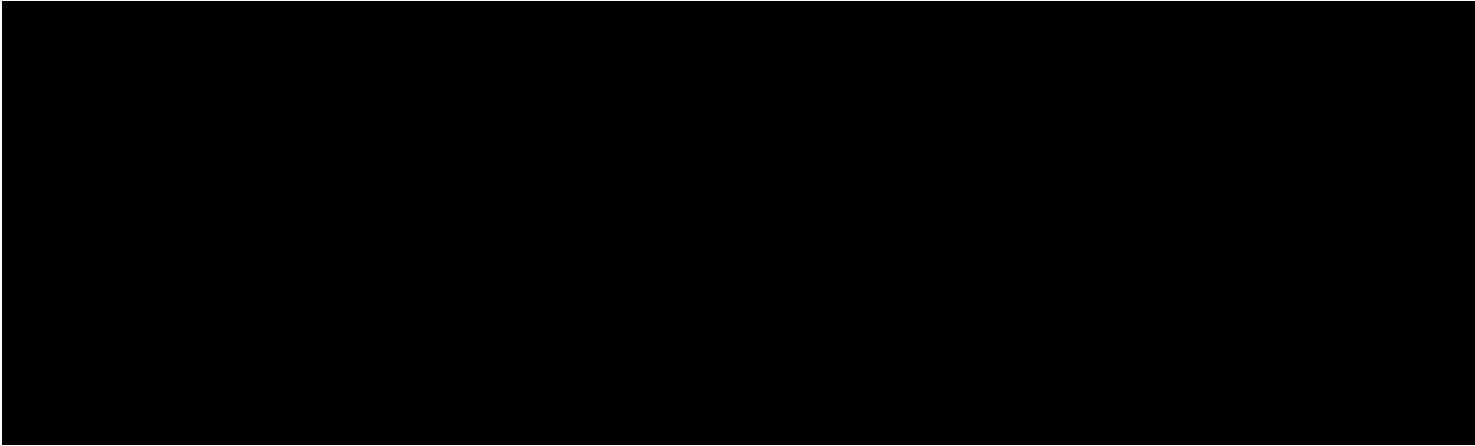
Noise

[No Comments](#)

Recommended Advisory Notes

It is strongly recommended that the undernoted Advisory Notes be placed on any consent the Council may grant:

- i. **Rats, drains and sewers:** Prior to the construction phase it is strongly recommended that any existing, but redundant, sewer/drainage connections should be sealed to prevent rat infestation and inhibit the movement of rats within the area via the sewers/drains.
- ii. The applicant should be fully aware of the **Construction (Design & Management) Regulations 2015 (CDM 2015)** and its implications on client duties etc.
- iii. **Design and Construction of Buildings – Gulls:** It is very strongly recommended that appropriate measures be taken in the design of all buildings and their construction, to inhibit the roosting and nesting of gulls. Such measures are intended to reduce nuisance to, and intimidation of, persons living, working and visiting the development.



From: Charlie Cairns
Sent: 25 January 2018 15:41
To: Devplan Planning; Devcont Planning
Subject: RE: Consultation Request - Auchenfoyle Farm, Auchenfoil Road, Kilmacolm

Hello

This will require a bat survey, for the following reasons;

- The nature of the building as a stone, slate roofed agricultural building. It is even more compelling that is adjacent to other similar buildings.
- The proximity of mature broadleaved trees.
- The proximity to a watercourse.

These are all standard triggers within the Bat Conservation Trust Good Practice Guidelines, and this approach is consistent with other developments in the locality. I would be looking for a dawn and dusk survey which means waiting until the bat activity season, probably from April onwards.

Additionally, we should be making them aware that disturbance of nesting birds during any construction phase is an offence. I mention this because the site looks especially suitable for swallows.

Regards

Charlie

*Charlie Cairns
Area Manager - Lower Clyde Greenspace
Regeneration and Planning Service
tel 01475 712464*






From: Nicholas McLaren
Sent: 22 January 2018 13:30
To: Devcont Planning
Subject: RE: Consultation Request - Auchenfoyle Farm, Auchenfoil Road, Kilmacolm

Building warrant required. No warrant registered.

From: Grant Kennedy **On Behalf Of** Devcont Planning
Sent: 18 January 2018 14:48
To: Building Standards; Roads; safer communities
Subject: Consultation Request - Auchenfoyle Farm, Auchenfoil Road, Kilmacolm

Consultation Request - Planning Application Ref - 17/0415/IC
Please can you comment on the application detailed in the attachment.
Could you reply at devcont.planning@inverclyde.gov.uk

9. REPRESENTATION IN RELATION TO PLANNING APPLICATION



From: Nicol Cameron [REDACTED]
Sent: 12 February 2018 16:38
To: Stuart Jamieson; Devcont Planning
Subject: Planning Applications 17/0350/IC; 17/0415/IC; 18/0003/IC

From: Mr R.N. Cameron (Chairman Kilmacolm Civic Trust)

To: Mr Stuart Jamieson (Head of Regeneration and Planning, Inverclyde Council)

Dear Mr Jamieson,

KILMACOLM CIVIC TRUST COMMENT ON PLANNING APPLICATIONS 17/0350/IC; 17/0415/IC; 18/0003/IC

The Kilmacolm Civic Trust Executive Committee has considered these three Planning Applications and has the following observations.:

17/0350/IC **No Objection**

17/0415/IC **No Objection**

18/0003/IC **No Objection**

Kind regards,

Nicol Cameron

(Mr R.N. Cameron, Chairman Kilmacolm Civic Trust)

**10. DECISION NOTICE DATED 3 AUGUST 2018
ISSUED BY HEAD OF REGENERATION AND
PLANNING**

DECISION NOTICE

Refusal of Planning Permission

Issued under Delegated Powers

Regeneration and Planning
Municipal Buildings
Clyde Square
Greenock PA15 1LY

Planning Ref: 17/0415/IC

Online Ref: 100079879-001

***TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013***

Mr Darren Black
Auchenfoyle Cottage
Auchenfoil Road
KILMACOLM
PA13 4TH

Eraldo Architects Limited
Eraldo Murphy
71 Wright Street
RENFREW
PA4 8AS

With reference to your application dated 27th December 2017 for planning permission under the above mentioned Act and Regulation for the following development:-

Conversion of outbuilding to a dwellinghouse at

Auchenfoyle Farm, Auchenfoil Road, Kilmacolm

Category of Application Local Application Development

The INVERCLYDE COUNCIL in exercise of their powers under the abovementioned Act and Regulation hereby refuse planning permission for the said development.

The reasons for the Council's decision are:-

1. The proposal is contrary to adopted Inverclyde Local Development Plan Policy ENV2 criteria (d) and (i); Policy RES5 criteria (a) and (c); Policy RES7 criteria (a) and (b); and Inverclyde Local Development Proposed Plan Policy 14 criteria (d) and (e); Policy 19 criteria (c), (d) and (e) as it does not comply with the exceptional or mitigating circumstances that would justify this development in the Green Belt, specifically that the proposal does not appropriately retain the character of the original building and wider area in terms of scale and design.
2. The proposal is contrary to the guidance in both adopted and proposed Planning Application Advice Notes (PAANs) 8 on "Siting and Design of New Houses in the Countryside" as the conversion of the outbuilding includes rebuild which does not reflect the original scale, character, proportion, design and architectural integrity of the building and is not subsidiary to the original building.
3. The proposal is contrary to Policy 1 of the Inverclyde Local Development Plan Proposed Plan as it fails to have regard to the six qualities of successful places, in that it does not contribute to the 'distinctive' factor as it does not reflect local architecture and urban form.

The reason why the Council made this decision is explained in the attached Report of Handling.



Dated this 3rd day of August 2018



Head of Regeneration and Planning

- 1 If the applicant is aggrieved by the decision of the Planning Authority to refuse permission for or approval required by condition in respect of the proposed development, or to grant permission or approval subject to conditions, he may seek a review of the decision within three months beginning with the date of this notice. The request for review shall be addressed to The Head of Legal and Administration, Inverclyde Council, Municipal Buildings, Greenock, PA15 1LY.
- 2 If permission to develop land is refused or granted subject to conditions, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he may serve on the planning authority a purchase notice requiring the purchase of his interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997

Refused Plans: Can be viewed Online at <http://planning.inverclyde.gov.uk/Online/>

Drawing No:	Version:	Dated:
AL01-1		27.12.2017
AL01	Rev A	08.01.2018
AL02		

**11. NOTICE OF REVIEW FORM DATED 9 AUGUST
2018 WITH SUPPORTING DOCUMENTATION**

NOTICE OF REVIEW

UNDER SECTION 43A(8) OF THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED) IN
RESPECT OF DECISIONS ON LOCAL DEVELOPMENTS

THE TOWN AND COUNTRY PLANNING (SCHEMES OF DELEGATION AND LOCAL REVIEW PROCEDURE)
(SCOTLAND) REGULATIONS 2013

THE TOWN AND COUNTRY PLANNING (APPEALS) (SCOTLAND) REGULATIONS 2013

IMPORTANT: Please read and follow the guidance notes provided when completing this form.
Failure to supply all the relevant information could invalidate your notice of review.

Use **BLOCK CAPITALS** if completing in manuscript

Applicant(s)

Name

Address

Postcode

Contact Telephone 1

Contact Telephone 2

Fax No

E-mail*

Agent (if any)

Name

Address

Postcode

Contact Telephone 1

Contact Telephone 2

Fax No

E-mail*

Mark this box to confirm all contact should be
through this representative: ☐

* Do you agree to correspondence regarding your review being sent by e-mail?

Yes No
☐ ☐

Planning authority

Planning authority's application reference number

Site address

Description of proposed development

Date of application

Date of decision (if any)

Note. This notice must be served on the planning authority within three months of the date of the decision notice or from the date of expiry of the period allowed for determining the application.

Nature of application

- | | |
|--|--------------------------|
| 1. Application for planning permission (including householder application) | <input type="checkbox"/> |
| 2. Application for planning permission in principle | <input type="checkbox"/> |
| 3. Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission; and/or modification, variation or removal of a planning condition) | <input type="checkbox"/> |
| 4. Application for approval of matters specified in conditions | <input type="checkbox"/> |

Reasons for seeking review

- | | |
|---|--------------------------|
| 1. Refusal of application by appointed officer | <input type="checkbox"/> |
| 2. Failure by appointed officer to determine the application within the period allowed for determination of the application | <input type="checkbox"/> |
| 3. Conditions imposed on consent by appointed officer | <input type="checkbox"/> |

Review procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures.

- | | |
|---|--------------------------|
| 1. Further written submissions | <input type="checkbox"/> |
| 2. One or more hearing sessions | <input type="checkbox"/> |
| 3. Site inspection | <input type="checkbox"/> |
| 4. Assessment of review documents only, with no further procedure | <input type="checkbox"/> |

If you have marked box 1 or 2, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing are necessary:

Site inspection

In the event that the Local Review Body decides to inspect the review site, in your opinion:

- | | Yes | No |
|--|--------------------------|--------------------------|
| 1. Can the site be viewed entirely from public land? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Is it possible for the site to be accessed safely, and without barriers to entry? | <input type="checkbox"/> | <input type="checkbox"/> |

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here:

Statement

You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. Note: you may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made?

Yes No
☐ ☐

If yes, you should explain in the box below, why you are raising new material, why it was not raised with the appointed officer before your application was determined and why you consider it should now be considered in your review.

List of documents and evidence

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review.

Note. The planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

Checklist

Please mark the appropriate boxes to confirm you have provided all supporting documents and evidence relevant to your review:

- ☐ Full completion of all parts of this form
- ☐ Statement of your reasons for requiring a review
- ☐ All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

Note. Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

Declaration

I the applicant/agent [delete as appropriate] hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents.

Signed

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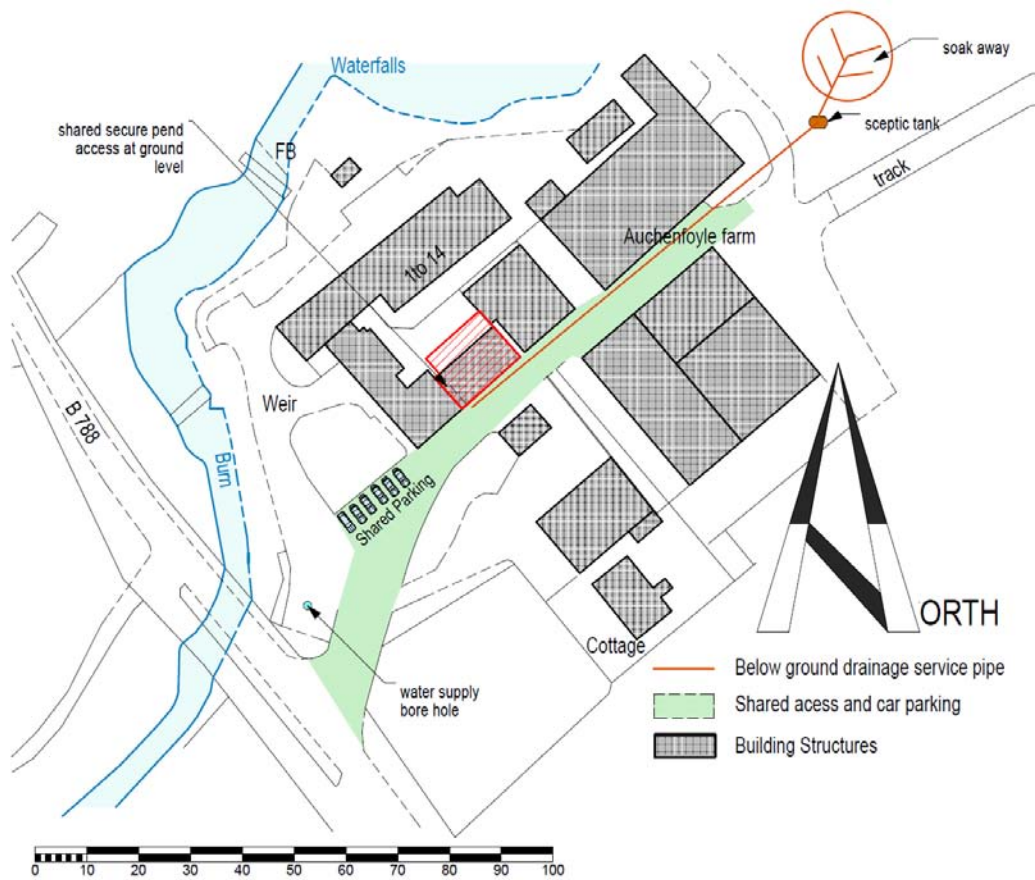
 Date

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Data Protection: Inverclyde Council is obliged to comply with current Data Protection Laws and will use this information for the purpose of The Town and Country Planning (Scotland) Act 1997 and related purposes, legislation and regulation.

Further information can be found at www.inverclyde.gov.uk/privacy

AUCHENFOYLE FARM:
PROPOSALS FOR THE CONVERSION OF EXISTING DILAPIDATED BUILDING TO
DWELLING HOUSE



AUCHENFOYLE FARM, KILMACOLM

REPORT SUPPORTING PROPOSALS TO CONVERT EXISTING DILAPIDATED AND REDUNDANT BUILDING FORMING MINOR PART OF FARM COMPLEX.

EXISTING BUILDING

Fig.1 identifies the location of the proposed conversion. The proposals are in the immediate proximity and attached to the Main and original farm house. The proposal forms part of a shared (six dwellings) established family and working complex.

The barn (fig. 4) has been in existence for more than one hundred years; and was part of the original farm activities at the outset. It was principally used to house early machinery and the storage of milk and other farm produce. The adjacent building to the north west, houses primarily a biomass heating system which serves the domestic side of the farm dwelling complex. As time passed, the need to house old machinery, and the means of storing and processing foods dwindled and came to an end. As a result, (typically of many buildings out of use in the country side) the facilities lost their usefulness and have ended up materially dilapidated to the extent that they have become unsafe. (fig. 5 to 12). and currently out of use.

The proposals are the ideal opportunity to create a safe and enhanced Courtyard, which will benefit all adjoining properties.

Given the current situation, a collective decision was taken to have the dilapidated building converted to a family dwelling for modern living, and to free additional internal court yard space by taking down the Former Milk Parlour.

The proposals to remove (take down) what was the Former Milk Parlour (fig.16) will add to the shared amenity space (fig. 14) as part of an enlarged courtyard. The existing milk parlour had been added to the farm in the 1970's; is of concrete brick construction, and it is out of character with the rest of the surrounding Buildings.(including the recent converted and added to dwellings). However, the taking down of this building is only feasible if permission is given to utilise the full potential attic space as illustrated on fig .19 and fig.20

The existing building construction is some 600mm thick of randomised stone walls set in concrete and cement mortar, with an internal finish of plaster on lath (currently in a very poor state). The roof is mixture of a large trusses and timber purlins and traditional insitu attic trusses (fig. 7 and 8) overlaid with timber sarking and slates which show a fair degree of nail failure (fig. 15). The existing roof construction suggest development of the buildings at different dates. In

other cases roof structure and coverings have been replaced some 70 years ago and consequently as needed.

The existing roof structure is in poor conditions and would not allow the feasible development for a conversion.

GREENBELT GUIDELINES: DESIGN PROPOSALS AND IMPLICATIONS

Local Plan Policy H18 - Reuse of Buildings in the Green Belt and Countryside.

Where feasible the primary endeavour has been to recognise and to ensure that all Policy guidelines are met and adhered to: considered in the context of the adjacent and near by buildings, and the existing fabric of the proposed building conversion.

The development in the countryside (including Green Belt) is permitted as the proposal is part and parcel and does "*not adversely affect the visual amenity of the area and is capable of satisfactory mitigation*". Fig. 25 to 30, are good and honest examples how the Policy and Green Belt Guidelines have been interpreted and permitted.

The proposals are to build wholly within the footprint of the existing redundant building.

With respect to guidance "a" The part of the building proposed to be converted into a habitable dwelling, is not entirely structurally sound (ref fig. 6 to 10). The existing roof line sags due to years of weathering pressure. The slate roof is tired, with nail fatigue throughout, and the growing moss between the joints, seems to be the only essence that is holding it together. Structural timbers and sarking have been subjected to perennial wetting and drying, and show a fair degree of wet rot damage. essentially the roof coverings and main structure require to be replaced.

Following on from the on site survey, it is not structurally feasible to retain all the structure and to work within the physical limitations of the existing construction. In order to maintain the character of the building, including the existing roof scale, from the visual access side (front elevation), it is proposed to remove the existing roof, and retain the existing external walls. A new roof would then replace the existing, whilst ensuring that the ridge level, and slope of the roof, is maintained and retained. All salvaged roof cover materials would be reused (where feasible) in order to maintain and continue the existing building characteristics, particularly on the front elevation approach side.

On the shared courtyard side, in order to make the project feasible with habitable rooms in the loft area, the roof pitch would have to change as illustrated (fig.19). Without the alteration to the roof pitch, on the courtyard elevation, there would be no feasible scope to develop the loft area. The alternative would then

be to retain the Former Milk Parlour for bedrooms development. This would mean that the shared courtyard amenity space would remain as it currently is, with no amenity enhancement for the existing neighbouring properties.

We believe the proposals respect the existing character of the adjacent and nearby buildings, in scale, form, material, and design. They add to the shared courtyard amenity, and by removing the presently somewhat dangerous dilapidation, the proposals add to the cohesion and enhancement of the existing group of houses.

PROPOSAL DEVELOPMENT (brief summary)

A first proposal was undertaken with a pre-planning discussion taking place at Inverclyde Council Planning Offices.

Fig. 21 shows original proposals with a mansard type roof. This option would have ensured a fairly easy construction build; it added to the external fabric wall height, and would have given a spacious accommodation for an expanding family.

The feedback was constructive, and as a result the current proposals offered for consideration are as illustrated on the Plans submitted and as described in the design proposals. The front access elevation, as discussed, has now two dormers, which may be clad in traditional render or slate (fig. 25 - 26)

The proposed dwelling is for a family home. The Applicant Mr, Darren Black, has grown up on the farm. His mum and dad, and relatives live and work on the farm. Mr Darren Black and his spouse, are very much family orientated and their wish, as is the wish of parents and relatives, is to develop one part of the existing redundant building, into a family home, where they can be supported, and in turn support their relatives, for a good many years to follow.

It is, therefore, with excitement and anticipation, and trust that the proposals will meet most, of the guidelines, as advised and interpreted.

Eraldo murphy, Bsc Hon. Barch

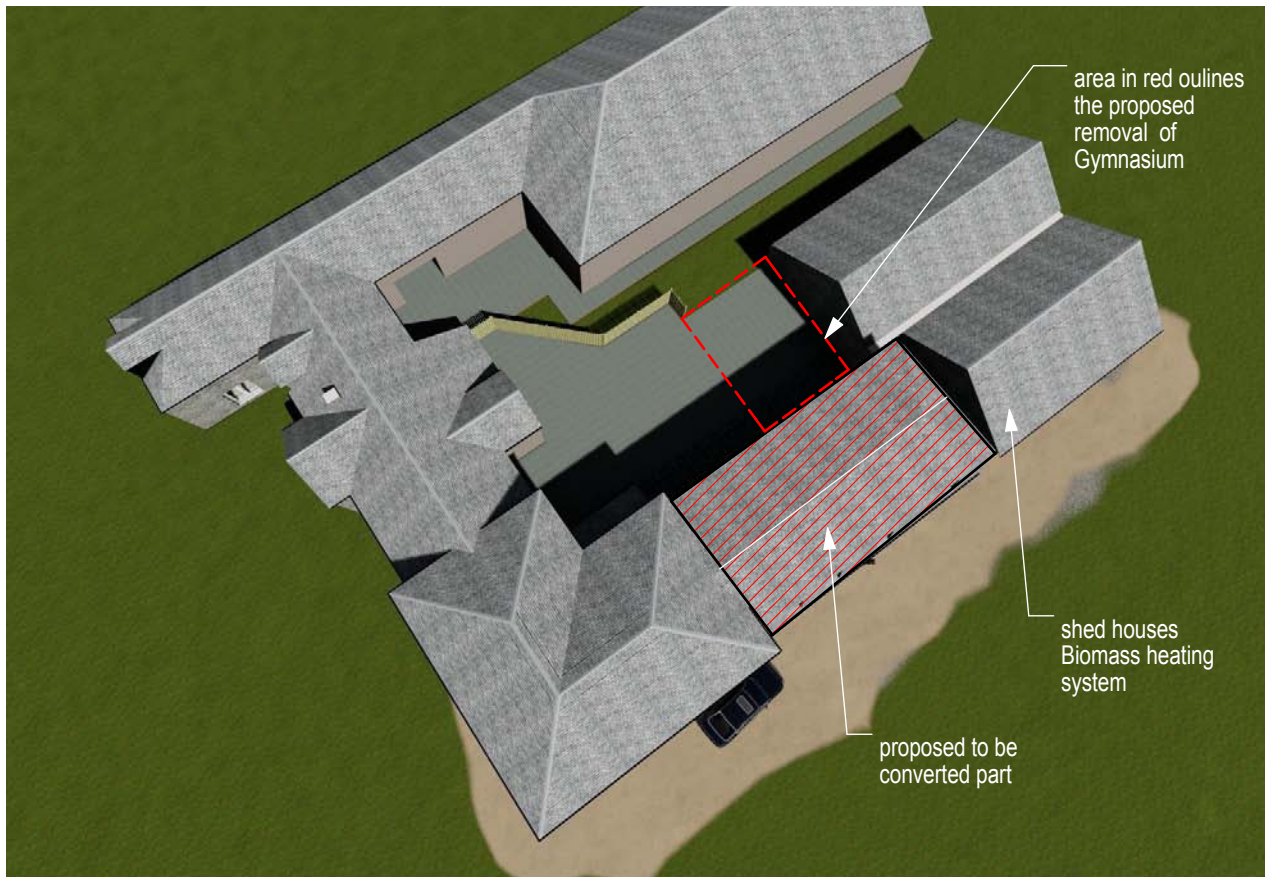


Fig.1 front access elevation: showing mansard roof and articulation. Balconies designed to take advantage of south orientation



Fig.2 front access perspective: showing proposed roof line in keeping with existing



Fig.3
Main farm house: front elevation

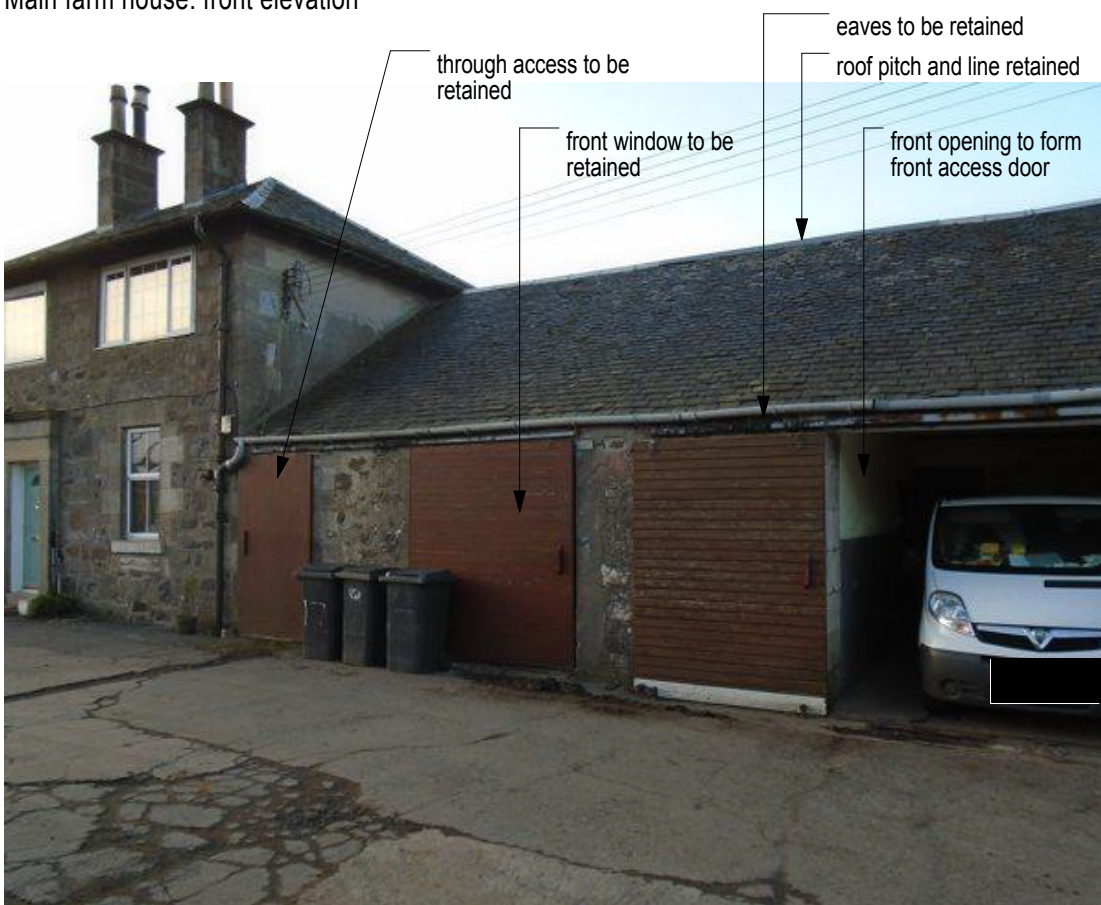


Fig.4
Existing adjoining building part proposed to be converted



Fig.5
Roof covering walk way. Perimeter beam and rafters have been severely effected by wet rot.
Timber lath rendered sloping celing require to be removed.



Fig.6
internal access to Former Milk Parlour, showing
varying degree of fabric dilapidation



Fig.7
Roof showing main truss and purlins



Fig.8
Roof showing traditional attic trusses in adjoining bay



Fig.9
Internal:showing redundant secure milk pocessing storage



Fig.10
Internal:in directionm of front facing existing access (retained as proposed for front Living room)



Fig.11
Internal: view-1 Former Milk Parlour



temporary
visqueen to
mitigate rain
water damage
and condensation

Fig.12
Internal: view-2 Former Milk Parlour



Fig.13
Enclosed courtyard as existing



Fig.14
Enclosed courtyard as proposed: enhanced amenity space



Fig.15
Courtyard View-1. showing main farm house and adjoining dwelling



Fig.16
Courtyard View-2. Former Milk Parlour



Fig.17
Courtyard View-1. typical existing rendered extension



Fig.18
Courtyard View-1. typical existing rendered conversions and extensions (Former Milk Parlour in foreground to the right)



Fig.19

cross section showing proposed roof slopes, (ensure compliance with Building (Scotland) regulations (upper floor to ceiling height limited to 2.2m, ensuring existing roof ridge line is retained at existing height)



Fig.20

Proposed upper floor layout, (dormers essential to increase usable and functioning space)



Fig.21
Front access elevation: showing mansard roof and articulation. Balconies designed to take advantage of south orientation



Fig.22
Court yard elevation with Gymnasium removed, to enhance and augment amenity space.

Previous front and back elevations elevation proposals

Current front elevation proposals



Dormers cheeks may be cladded with white render on lath, or with a slate rainwall



Fig.25



Fig.26



Fig.27
New dwelling short listed for house of RIBA house of the year in country side (Scotland)



Fig.28
building complex arranged in Barn-like juxtaposition (but thoroughly modern)

New dwelling short listed for house of RIBA House of the Year (2017) in country side (Scotland)



Fig.29

Sample-1 New Dwelling inside old barn ruin: view-1



Fig.30

Sample-1 New Dwelling inside old barn ruin: view-2

**Development Management
Regeneration and Planning
Inverclyde Council
Municipal Buildings
24 Clyde Square
Greenock
PA15 1LY**

Date: 24/04/2018

F.a.o. Mr James McColl

Dear Mr Mcoll ,

**AUCHENFOYLE FARM : BARN CONVERSION INTO HABITABLE DWELLING
Application no. 17/0415/IC**

Thank you for your email dated 12/04/2018 regarding the above.

Your suggestion to create a 2 Bedroom home, would not serve the purpose of the application to create a family home that can be fully enjoyed. The proposals to have four bedrooms are feasible with out having to add to the existing footprint.

I understand that the Planning Application Advice Notes are in line with RES7. (ref. appended extract from Inverclyde Development Plan)

It is my understanding the policy is a good guide for any change in use, to safe guard the character of the existing built environment in the Greenbelt, so that third parties can enjoy the cultural heritage of the green belt. I also understand that policy is there to safe guard developments, whether extension or new built, so as not to get out of hand, and to preserve and retain, where reasonable and feasible, existing buildings of character and history, often associated with rural cultural development and history.

On the other hand, I would like to think that the Policy was not designed to prevent development to the detriment of people who have to live next to adjoining and near by neglected and out of use building structures, as is the case with the situation here. Nor do I believe that the policy is designed to encourage and promote dilapidated and out of use building left to become abandoned ruins.

In the absence of any additional guidance details, as may be referred to in RES7 of the DLP, the policy has to be subjective and hence reliant on exercised planning discretion. The discretion would take into consideration: situation, location, immediate social and

built environment, and whether the respective benefits to neighbours, and user, outweigh doing nothing and letting the building fall further into disrepair.

Thought it might not be strictly in accordance with the interpretation of RES7, I do not believe that by providing a full length dormer, facing the Courtyard, is in any way detrimental to the existing neighbours. I assume that there has been no objection to the Planning application from any of the neighbours? In addition, the full length dormer is not seen from any public road, footpath, or from any other direction (apart from a helicopter) and is therefore of no material consequence to the visual impact, when considering the spirit of policy RES7 and the guidance notes.

To summarise, the development as proposed:

- Creates no negative consequences to any of the neighbouring property.
- Takes a dilapidated out of uses existing Building and brings it to life.
- Enhances the Building fabric and the shared social environment of the existing adjoining dwellings.
- Does not add any additional footprint area, such as an extension would. Indeed the proposed development creates some additional 20 square metres of amenity space, within an enclosed courtyard (not visible from any roads) for the benefit of all residence.
- The Roof Line as viewed from the access path, is maintained with the additional of three dormers, permitted, as advised by you to my client.
- The proposed removal of the existing dilapidated Milk Parlour, would be brought into the designated new boundary (the proposed boundary is determined by what is likely to be approved by Planning) if it has to be used in a changed design. This would mean that the enlarged/ enhanced amenity space would no longer be available for the benefit of neighbours.

From the Structural engineer report you have accepted that the roof, structurally and conditionally, cannot be retained, and if left unattended to, will fall under its own weight in due course.

We would ask, that further consideration be given to the proposals as submitted. In line with the points raised. In the mean time, I ask for more time to consider a different design options, and other considerations, whilst we await the Bat Report, scheduled for the end of May.

Yours sincerely,

Eraldo Murphy, Bsc Hon, Barch,

Planning Application Advice Note No. 8

SITING and DESIGN of NEW HOUSES in the GREEN BELT and the COUNTRYSIDE

Inverclyde's countryside is a valuable resource. Much of it is within the Clyde Muirshiel Regional Park and, in general, development is sparse. It is important that the character of the countryside is retained and that where development occurs it merges into the landscape. Where policies permit the development of new houses, the following design principles apply.

Siting of New Housing

- Prominent positions on skylines, ridgelines and hill tops and, where in silhouette the buildings will break the landform, are inappropriate.
- Buildings should be set into the landform with excavation or infill minimised.
- Sites adjacent to or within groups of other buildings will be favoured.
- Tree belts and wooded areas can be used as a backdrop to a house to minimise the visual impact.

Design of New Housing

EXTERNAL WALL FINISH

- Natural stone or wet dash render are traditional to the Inverclyde countryside and should be used.

BASECOURSES

- Where a traditional wet dash finish is used, it is expected that this will be applied down to ground level.
- Where a basecourse is used, this should be minimal and finished in a smooth cement render.

UNDERBUILDING

- Excessive underbuilding should be avoided.

WINDOWS AND DOORS

- All windows should have a vertical emphasis and be surrounded by a smooth cement margin.

- Doors should similarly be surrounded by a cement margin.

ROOF

- A minimum pitch of 35 degrees should be achieved.
- The roof should be finished in natural slate or a synthetic slate look-a-like tile which reflects the size, colour and edge detail of a natural slate.

EAVES / SKEWS

- Boxed eaves, with large fascia boards and barge boards should be avoided.

ROOFLIGHTS

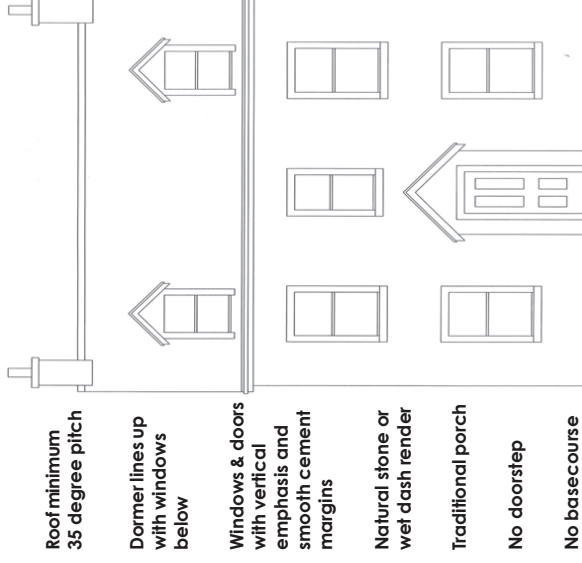
- When required, they should be located at the rear roof plane, have a vertical emphasis and be flush fitted with secret guttering.

DORMERS

- The design of dormer windows should accord with the design guidance contained in **Planning Application Advice Note No. 6** on dormer windows. They should be positioned on the roof to vertically line with windows and / or doors on the facade below and be symmetrical.

PORCHES

- If required, these should be designed as an integral part of the building.
- Wall finishes, windows, roofs and eaves / skews should reflect the remainder of the building.

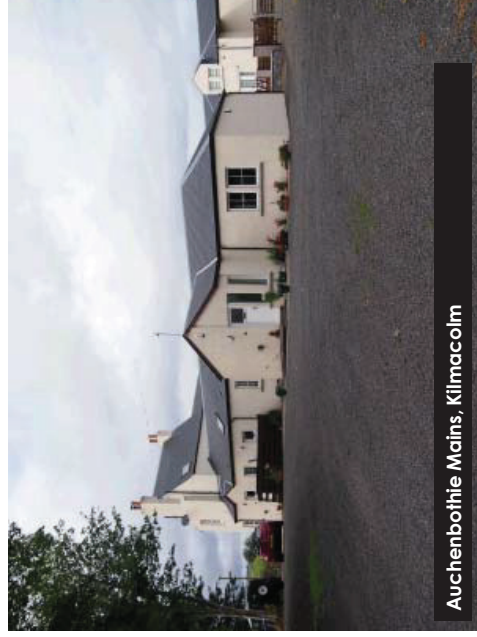


PLANNING APPLICATION ADVICE NOTES

Converting Buildings to Residential Use

The conversion or re-use of existing buildings in the countryside for residential use will be acceptable subject to the following :

- The building should be structurally sound, originally constructed of brick or stone with a slate roof or similar and must be largely intact and capable of conversion without substantial demolition and rebuild.
- A structural survey of the property has to be submitted to accompany any planning application.
- The original scale, character, proportion and architectural integrity of the building shall remain intact and any extension shall require, at all times, to be subsidiary to the original building.



- Where a traditional building, the detail of design shall follow the criteria specified previously under the heading "Design of New Housing".

Extending Existing Residential Buildings

Residential buildings are of a variety of shapes and sizes and it is important that alterations to such buildings ensure that their original character is maintained. In this respect, any extension to an existing residential building shall require the following:

- To be subsidiary in scale and position to the original dwellinghouse
- To follow the design details specified in the "Design of New Housing" in the case of traditional buildings.

Planning Application Advice Note No. 9

SITING and DESIGN of NEW FARM and FORESTRY BUILDINGS

Inverclyde's countryside is a valuable resource. Much of it is within the Clyde Muirshiel Regional Park and, in general, development is sparse. It is important that the character of the countryside is retained and that where development occurs it merges into the landscape.

Siting of New Buildings

- Prominent positions on skylines, ridgelines and hill tops and, where in silhouette the buildings will break the landform, are inappropriate.
- Buildings should be set into the landform with excavation or infill minimised.
- Sites adjacent to or within groups of other buildings will be favoured.
- Tree belts and wooded areas can be used as a backdrop to a house to minimise the visual impact.

Design of New Buildings

ROOFS

- Where traditional roofing material is proposed a minimum 35 degree pitch should be achieved using a natural slate or a synthetic slate look-a-like tile which reflects the size, colour and edge detail of a natural slate. On large buildings requiring wide roof spans, high pitch roofs would

have a significant impact. Also many buildings, for economic reasons, will propose the use of modern materials. Under such circumstances roofs should seek to blend in with the landscape or be finished in a colour to match the farm buildings in the immediate vicinity. Where large buildings use modern materials a low pitch roof should be used. Flat roofs are not appropriate.



Lukeston Farm, Bridge of Weir

WALLS

- Natural stone or wet dash render are traditional to the Inverclyde countryside and are acceptable. Where steel framed buildings are proposed, they should seek to blend in with the landscape or be finished in a colour to match other farm buildings in the immediate vicinity.

Eraldo Architects
71 Wright Street
Renfrew
PA4 8AS

13th March 2018

Dear Eraldo,

Conversion of Barn into a Habitable Dwelling - Auchenfoyle Farm, by Kilmacolm - Structural Survey

Further to your recent instruction, I confirm having undertaken a structural survey of a vacant store and outbuilding within the farm steading on the afternoon of Tuesday 27th February 2018.

I understand that you have recently made a planning application to Renfrewshire Council to convert the buildings into a dwelling. Please refer to Appendix A for the farm layout showing the buildings surveyed.

The purpose of my survey was therefore to give comment on the existing condition of the structure of the premises and to confirm, or otherwise, their suitability for inclusion within a new dwelling.

I offer the following report:

Please refer to Appendix A for the farm plan showing the building location and to Appendix B for record photo's taken during my visit.

My survey has taken the form of a visual inspection only. I have not removed any finishes or exposed any foundations during my inspection. I have also not inspected areas which were covered, unexposed or inaccessible therefore unable to confirm that any hidden areas are free from defect.

I do however consider that sufficient access was available to allow me to give reasoned opinion on the condition of the premises at this time.

Building Description

The subject premises is formed of a short run of single storey traditional built outhouse/storeroom areas, located on the southwest face of the farm steading, ref Fig 1.

- The external walls are approximately 550mm thick, built from random masonry with lime mortar.
- The internal sub division walls are formed in brick with a cement render finish.
- The roof is of traditional collared and oxtored construction with slate covering.
- The ground floor is formed from cast-in-situ concrete ground bearing floor slab.

Structural Survey Points

I offer the following points of note from my survey.

- a. The external walls all appear to be in reasonable condition and while these are localised areas of mortar loss or weathering to the store face, these are not of structural significance at this point.
- b. All external walls appear plumb at this point.
- c. The roof over the full plan area of the building is in poor condition and in my opinion has reached the end of its useful service life.
- d. The internal walls are largely in reasonable condition however I anticipate that most, if not all of these, will need to be removed to accommodate the new house internal room layout.
- e. The ground floor slab is in average condition however I again anticipate that most of the concrete slab will need to be removed to accommodate a new damp proof course and necessary insulation below the floor slab.

Structural Summary

Based on my survey I assume that what will be left for redevelopment will largely be the stone perimeter walls.

I confirm that these are in fair to good condition and can be retained for inclusion within a new dwelling.

I am satisfied that after completion, the retained elements of the present store/outbuildings can successfully be incorporated into the new dwelling and when complete, these will all have a remaining life equivalent to that of the new dwelling.

I trust you find this to be of assistance.

[REDACTED]
Yours sincerely,
[REDACTED]

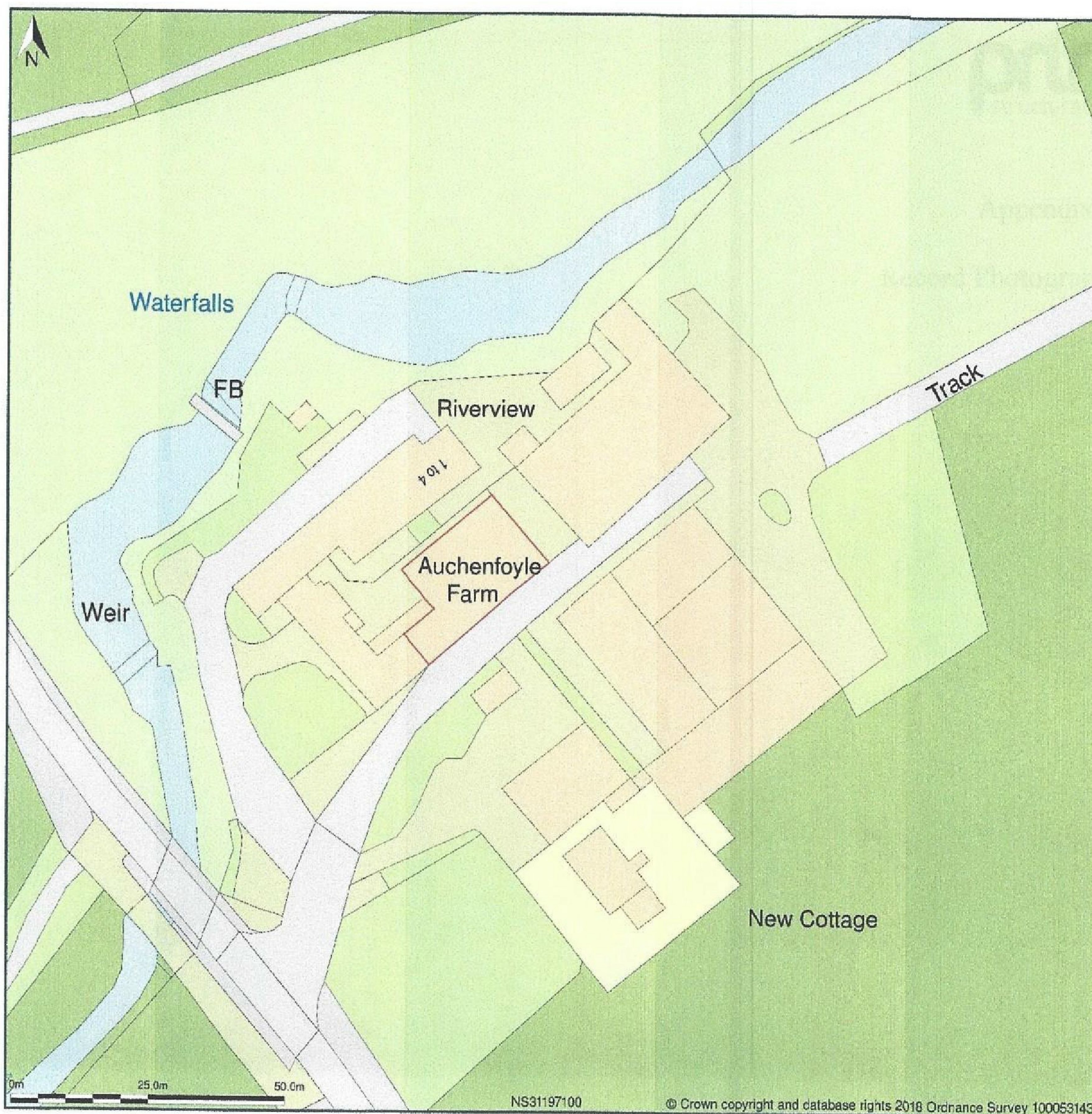
Jim Adams Bsc(Hons) C.Eng, M.I.Struct. E.
For Prime Structural Solutions
[REDACTED]

JA/RJ/18 1087

Appendix A

Location Plan

Auchenfoyle Farm, Auchenfoil Road, Kilmacolm, Inverclyde, PA13 4TH



Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018

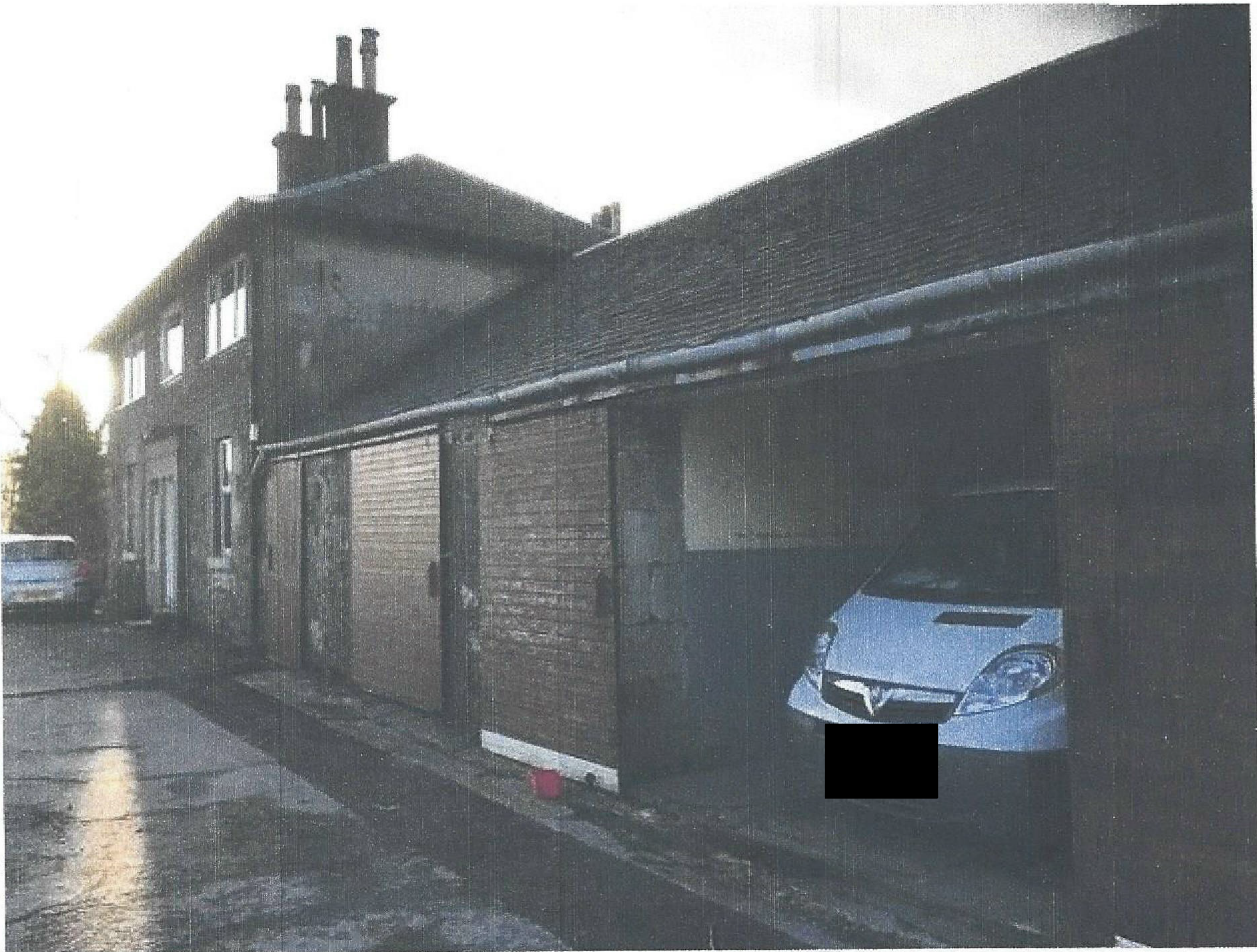


Photo 1

View shows front elevation of outbuilding considered for conversion into a new dwelling

Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018

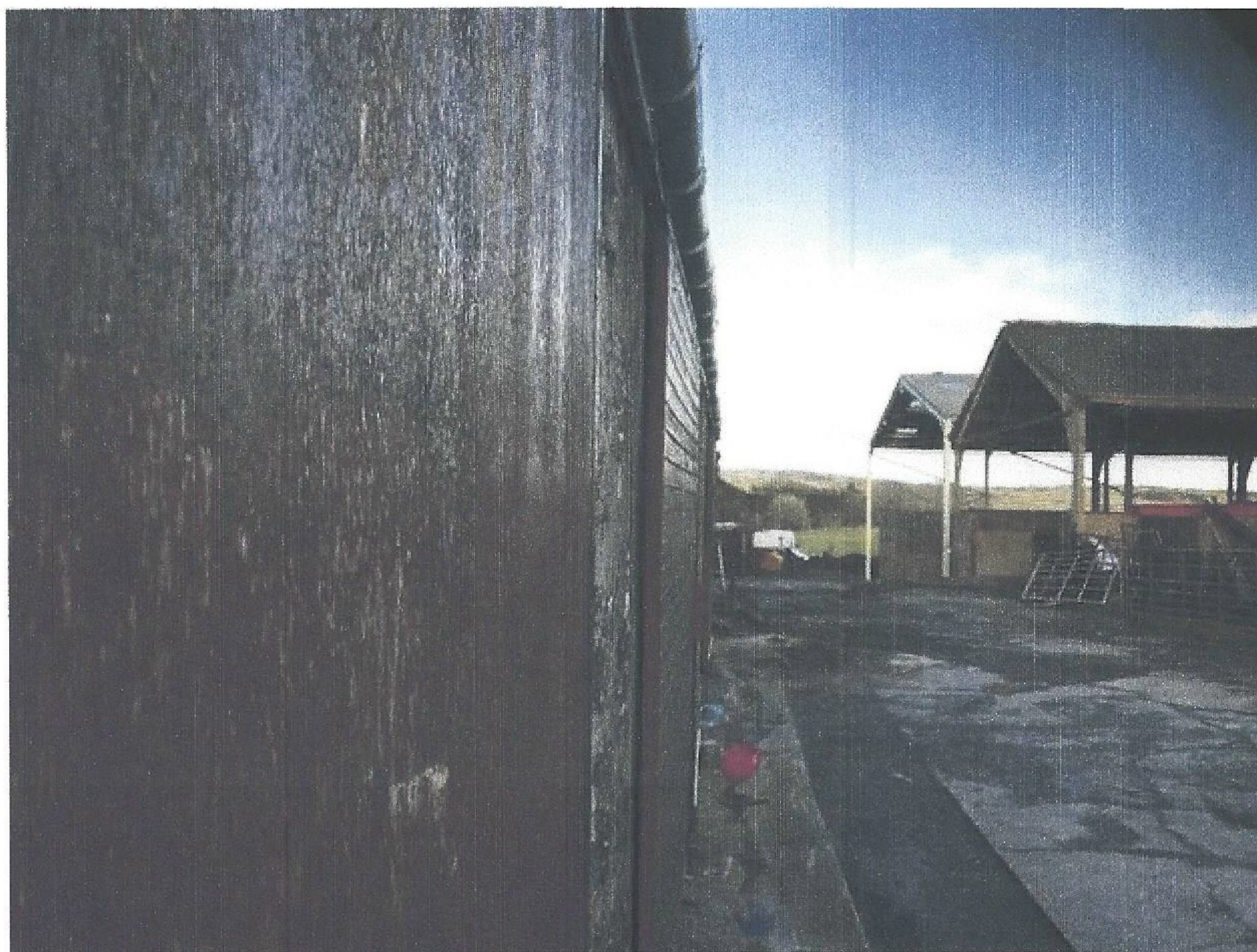


Photo 2

View along length of the front elevation. Wall is plumb and shows no sign of distress, recent or ongoing

Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018

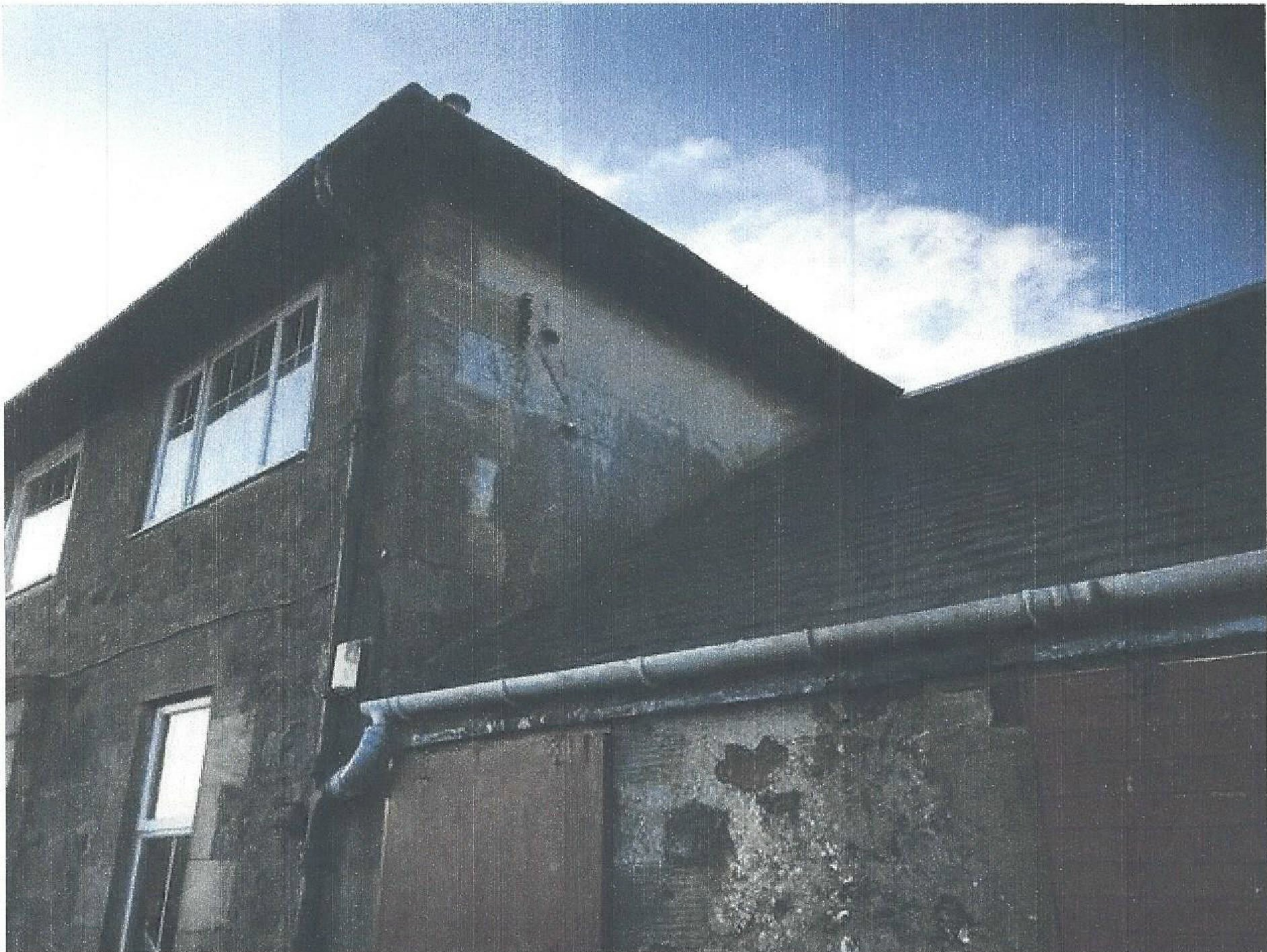


Photo 3

Views shows existing outbuilding at junction with the main house. No evidence of any distress or movement was noted.

Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018



Photo 4

View shows rear elevation of store/ outbuilding. No evidence of any significant distress or sign of previous or ongoing movement was noted.

Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018



Photo 5

View within building. Walls all plumb however ceiling/ roof shows sign of deterioration

Auchenfoyle Farm, by Kilmacolm

Outbuilding Survey

20th Feb 2018



Photo 6

Another internal view. Masonry walls are plumb and stable however ceiling roof shows sign of deterioration.



AMANITA
Wildlife Consultants

Wildlife Consultants
Specialising in the conservation and management of
wildlife and their habitats
in the Republic of Ireland

**Bat Roost Suitability Survey of
Buildings at Auchenfoyle Farm
Kilmacolm**

**Prepared for
Heather Black
by
Amanita Wildlife Consultants**

May 2018

3 Paxton Place
Kilmarnock
KA1 3HL
Tel: 01563 572526
Email:
tom@amanitawildlife.com

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Landscape Ecology	8
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EXECUTIVE SUMMARY

1. Amanita Wildlife Consultants was commissioned to provide an initial bat roost suitability survey of buildings at Auchenfoyle Farm, Kilmacolm as part of the planning process prior to alterations to the buildings.
2. This survey was carried out by Tom Hastings, Scottish Natural Heritage licenced bat worker, licence number 14224 and Barbara Hastings an experienced bat worker.
3. Signs of bats using the farm were found and features with the potential to support roosting bats were noted.

1. INTRODUCTION

LEGISLATION

- 1.1. All bats are European Protected species and they and their places of shelter are protected in Scotland by the Conservation (Natural Habitats Etc) Regulations 1994 (as amended). This legislation makes it an offence, amongst other things, to wilfully or recklessly:
 - capture, injure or kill a bat;
 - to disturb a bat while it is occupying a structure or place it uses for shelter or protection;
 - to disturb a bat while it is rearing or otherwise caring for its young;
 - to obstruct access to a breeding site or resting place of a bat or to otherwise deny use of a breeding site or resting place;
 - damage or destroy a breeding site or resting place of a bat.
- 1.2. In addition it is an offence of strict liability to damage or destroy a breeding site or resting place of a bat. These sites and places are protected whether the animal is present or not.
- 1.3. Activities which may affect bat shelters can only be legitimately carried out if a licence under Regulation 44(2) of the Conservation (Natural Habitats &c.) Regulations 1994 (as amended) has been granted.

2. ECOLOGY

- 2.1. Bats require three landscape features for their survival:
 - roosting sites;
 - feeding sites and;
 - navigational corridors (flyways) to travel between the two.

- 2.2. During the year bats will use different roost sites for different purposes and different species of bats will use different types of roost sites. Bat roost sites include buildings, bridges, trees, caves and mines.
- 2.3. In late spring numbers of female bats congregate in 'maternity roosts' where they give birth and spend the summer raising their young. Male bats roost apart from females in groups of one or two in 'bachelor roosts' which are separate from but near to the maternity roosts.
- 2.4. Bats also use night roosts for resting for short periods during the night and some bats use feeding stations for feeding on large insects which cannot be dealt with in flight.
- 2.5. They navigate and hunt by making high frequency sound calls and listen to the echoes returned from these calls by objects in their environment. This is termed 'echolocation' and, by the use of electronic 'bat detectors', these calls can be heard and used to determine the species and behaviour of the bat making the call.
- 2.6. All British bats eat insects so feed in places, for example woodlands, near ponds or above rank grassland, where insects are abundant. They follow linear features such as woodland edges, paths, roads or domestic gardens to navigate from roosting to feeding sites. Loss of such linear features can adversely affect the ability of bats to successfully feed.
- 2.7. They also use 'waymarkers', fixed objects in the landscape such as buildings, trees and rivers as navigational aids to determine their position and direction of travel, in a manner analogous to a motorist using road signs.
- 2.8. Bats have a daily routine whereby they waken shortly before dusk and communicate for around half an hour using low frequency calls. These 'social calls' can be detected and are indicative of the presence of a roost. They leave their roost sites sometime around dusk (the time varies from species to species) fly to their individual feeding sites and spend the night feeding with frequent rests in 'night roosts' to digest their food.
- 2.9. Bats return to their roost sites around dawn where they fly round the roost for some time before they finally enter, a behaviour called 'swarming'. Swarming bats are very visible and this behaviour allows roost entrances to be identified.

3. METHODOLOGY

- 3.1. All survey methodology followed best practice outlined in the Guidelines for Ecological Impact Assessment (2006) published by the Institute of Ecology and Environmental Management (IEEM) and Guidelines for Baseline Ecological Assessment (1995), published by the Institute of Environmental Assessment, now the Institute of Environmental Management and Assessment (IEMA).
- 3.2. Survey methodology also followed best practice as published by the Bat Conservation Trust¹

BAT ROOST SUITABILITY SURVEY

- 3.3. As bats follow a yearly cycle of hibernation in winter followed by formation of colonies (roosts) in summer, it is not possible to fully determine bat use of a structure in any one season. However structures that may be used by roosting bats, in summer or winter, such as trees, buildings, bridges and caves, can be assessed at any time of the year in terms of their bat roost suitability - that is their likelihood of supporting bats.
- 3.4. BRS is based on the presence of features that research has shown as typically supporting bats. The Bat Conservation Trust, BCT, has produced guidelines for the assessment of BRS and these are summarised in Table 2.1

BRS	Potential Features
Low	One or two minor opportunities for individual bats (historically available to bats for less than 10 years) but unlikely to be hibernation or maternity roost sites.
	Isolated sites not connected by prominent linear features.
	Example features: a few loose roofing slates, small sections of raised flashing.
Moderate	Features providing more secure opportunities for individual or small groups of bats (historically available to bats for 10-30 years).
	Several potential roost sites in the structure.
	Site connected to the wider landscape by linear features which could be used by

¹ Collins, J.(ed.) (2016) Bat Surveys for Professional Ecologists: Good Practice Guidelines (3rd edn), The Bat Conservation Trust, London

	bats for navigation purposes.
	Example features: holes in brickwork, central heating.
High	Features of particular significance for high priority roosts used by large numbers of bats. (Historically available to bats for more than 30 years and possibly used by several generations of bats).
	Features offering conditions for bats that are uncommon in the local area.
	Proximity to known roost sites.
	Site is connected to the wider landscape by strong linear features such as rivers, burns, woodlands and hedgerows.
	Example features: deep soffits with access holes, extensive loose and missing roof tiles, holes in brickwork with access to loft space.
Confirmed roost	Evidence found that the structure is used by bats, such as droppings, dead or living bats.

Table 2.1: Criteria for Assessing Bat Roost Suitability

- 3.5. If a structure is found to be of low, moderate or high suitability, further surveys to determine bat use of the structure are required before work can be carried out legally.

DESK STUDY

- 3.6. Existing bat records for the 2 km square containing the site were sourced. Any records more than 10 years old were discounted. Records of sites designated for their ecological importance and lying within 2 km of the sites were obtained from the Scottish Natural Heritage (SNH) 'Sitelink' website² and the DEFRA 'Magic' website³.

LANDSCAPE ECOLOGY

- 3.7. Maps and aerial photographs were used to assess the value of the local landscape to bats for navigation and foraging.

² <http://www.snh.gov.uk/publications-data-and-research/snhi-information-service/sitelink/>

³ <http://www.magic.gov.uk/>

4. RESULTS

DESK STUDY

- 4.1. Records of Common Pipistrelle, *Pipistrellus pipistrellus*, Soprano Pipistrelle, *P. pygmaeus*, Daubenton's bat, *Myotis daubentonii*, and Brown Long Eared bat *Plecotus auritus* within the 10 km square containing Auchenfoyle Farm were found.
- 4.2. No protected areas lie within 3.0 Km of the farm.

LANDSCAPE ECOLOGY

- 4.3. Auchenfoyle Farm is situated beside the B788, about 2Km east of Kilmacolm, Inverclyde. The farm is situated in a rural landscape of fields and copses of trees. The Gryfe Water runs from east to west just to the north of the farm.
- 4.4. These landscape features provide excellent feeding opportunities and navigational aids for bats.

BAT ROOST POTENTIAL SURVEY

- 4.5. This survey was carried out on the morning of Friday 4th May 2018. The temperature was 10° C and the weather was dry after a period of dry weather.
- 4.6. The farm buildings surveyed consisted of a number of stone built, slate roofed buildings, some surrounding a courtyard. All the buildings had slate roofs in poor condition with lifted and broken slates and lifted flashing, these being common sites for bats to roost.
- 4.7. An examination of the courtyard revealed a few bat droppings, similar to those produced by *Pipistrelle spp.*, two on the window of a stone building adjacent to a dwelling house (**Fig.1**) and one on the glass door of the house. (**Fig.2**). A hole deep into the interior of the wall of the building was noted at the eaves but endoscopic examination did not reveal any signs of bats associated with the hole.
- 4.8. A loft search found no sign of bats using the loft space.
- 4.9. No droppings or other bat signs were found associated with the remainder of the buildings surveyed, but all of them had roofs in poor condition with holes, missing slates and gaps at the wall head (Figs. 3- 5).



Figure 1 – View of courtyard showing positions of bat droppings on window.



Figure 2 – View of courtyard showing position of bat dropping on door.



Figure 3 – Lifted Flashing on Roof of Building.



Figure 4 – Missing, Loose and Raised Tiles



Figure 5 – Raised and Missing Tiles on Building.



Figure 6 – Bat Droppings on External Window.

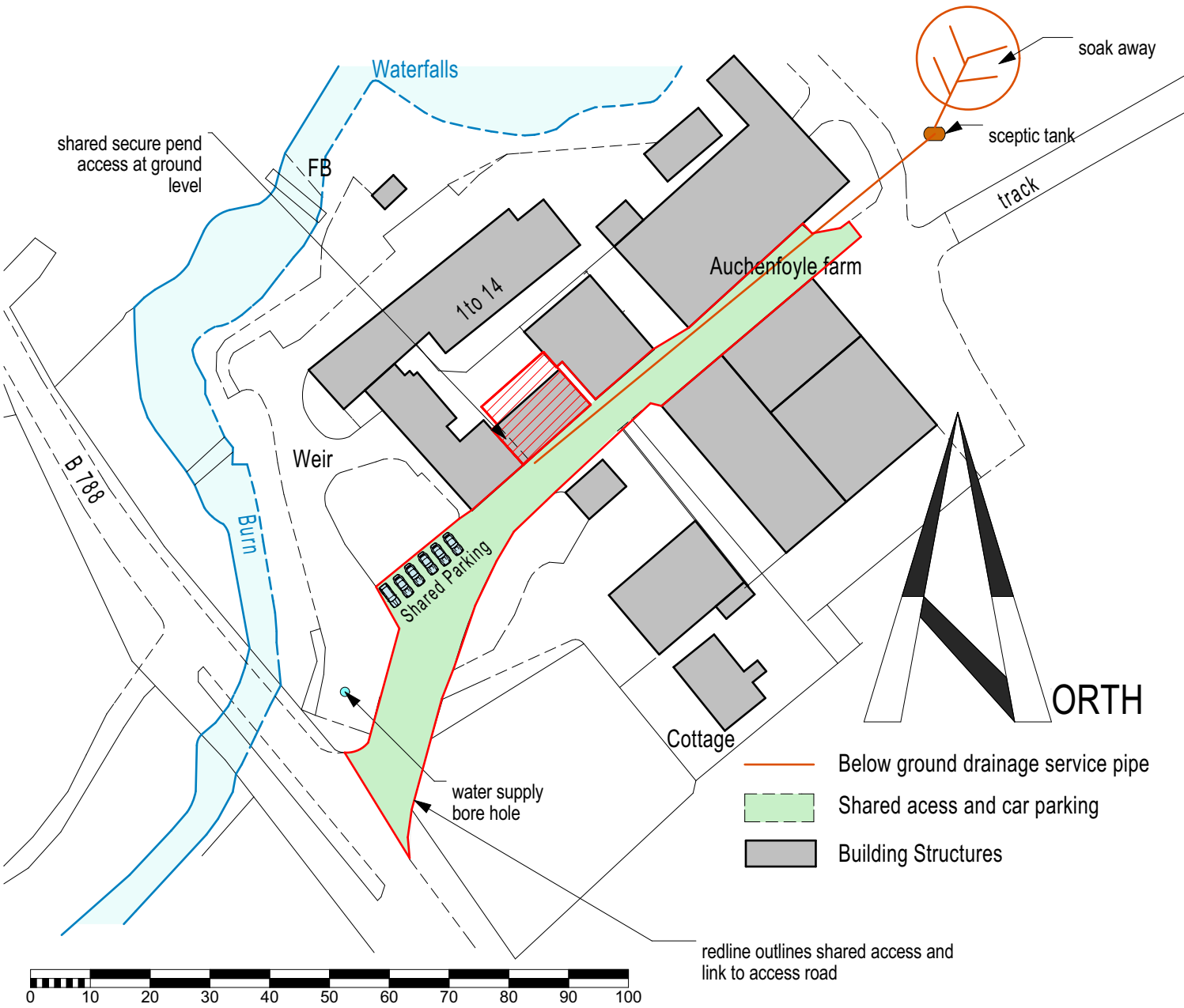
5. DISCUSSION AND RECOMMENDATIONS

- 5.1. The droppings found on the windows of the buildings in the courtyard are likely to have been deposited by bats flying near to the buildings foraging for insects rather than bats leaving a roost.
- 5.2. Although no direct signs of roosting bats were found, the roofs of the various buildings do provide a large number of opportunities for roosting bats, especially for male roosts, and as droppings, showing that bats are probably feeding around the buildings, the farm has been scored as having a **Moderate Bat Roost Suitability**.
- 5.3. Good Practice Guidelines mandate that for structures of moderate bat roost suitability, two further bat surveys, one at dusk when bats leave their roosting sites and one at dawn when they return to their roosts are carried out before work can be done. The surveys must be carried out between May and September and should be at least two weeks apart.
- 5.4. Birds were seen entering and leaving the rear of the roof of the stone building adjacent opposite dwelling house and it is possible that they are breeding in the roof space. It is an offence in Scotland under schedule 1 of the Wildlife and Countryside Act 1981 to “intentionally or recklessly disturb any wild bird listed in Schedule 1 while it is nest-building or is at or near a nest with eggs or young; or disturb the dependent young of such a bird.” The nesting season is taken to be from 1st of March to 31st of July.

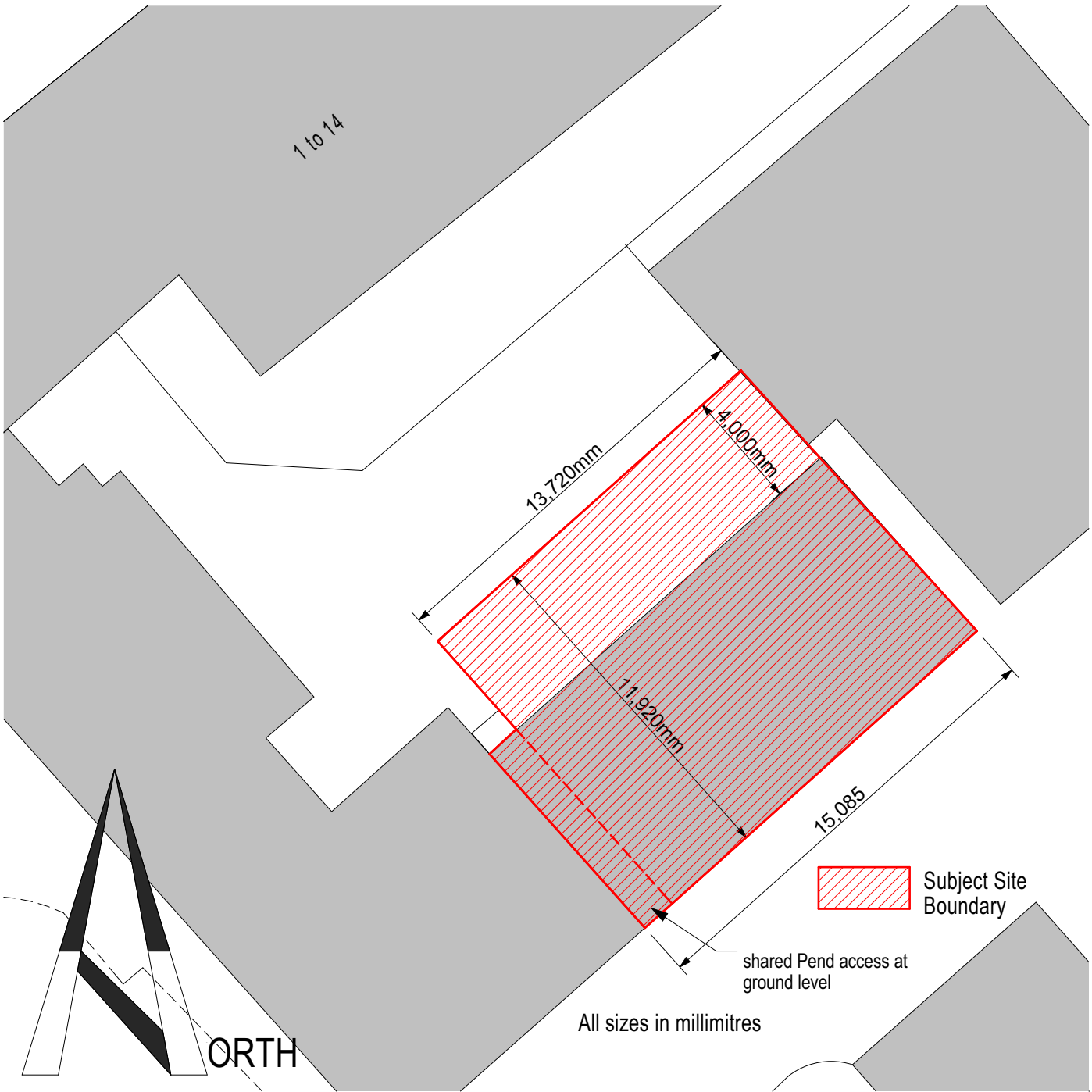
Tom Hastings BSc (Hons), MCIEEM

Aminita Wildlife Consultants

11th May 2017



LOCATION PLAN 1:1000



SITE PLAN 1:200

Revision "a": 08/01/2018: shared access boundary line added

project	project No.	drawing No.	revision	scale
AUCHENFOYLE FARM: BARN CONVERSION SCHEME-7	IC1701	AL01	a	1:1000, 1:200
drawing title	Project Status	Drawn	date	
LOCATION AND SITE PLAN	PLANNING	Eraldo	08/01/2018	

project No.	drawing No.	revision	scale
IC1701	AL01	a	1:1000, 1:200
Project Status	Drawn	date	
PLANNING	Eraldo	08/01/2018	

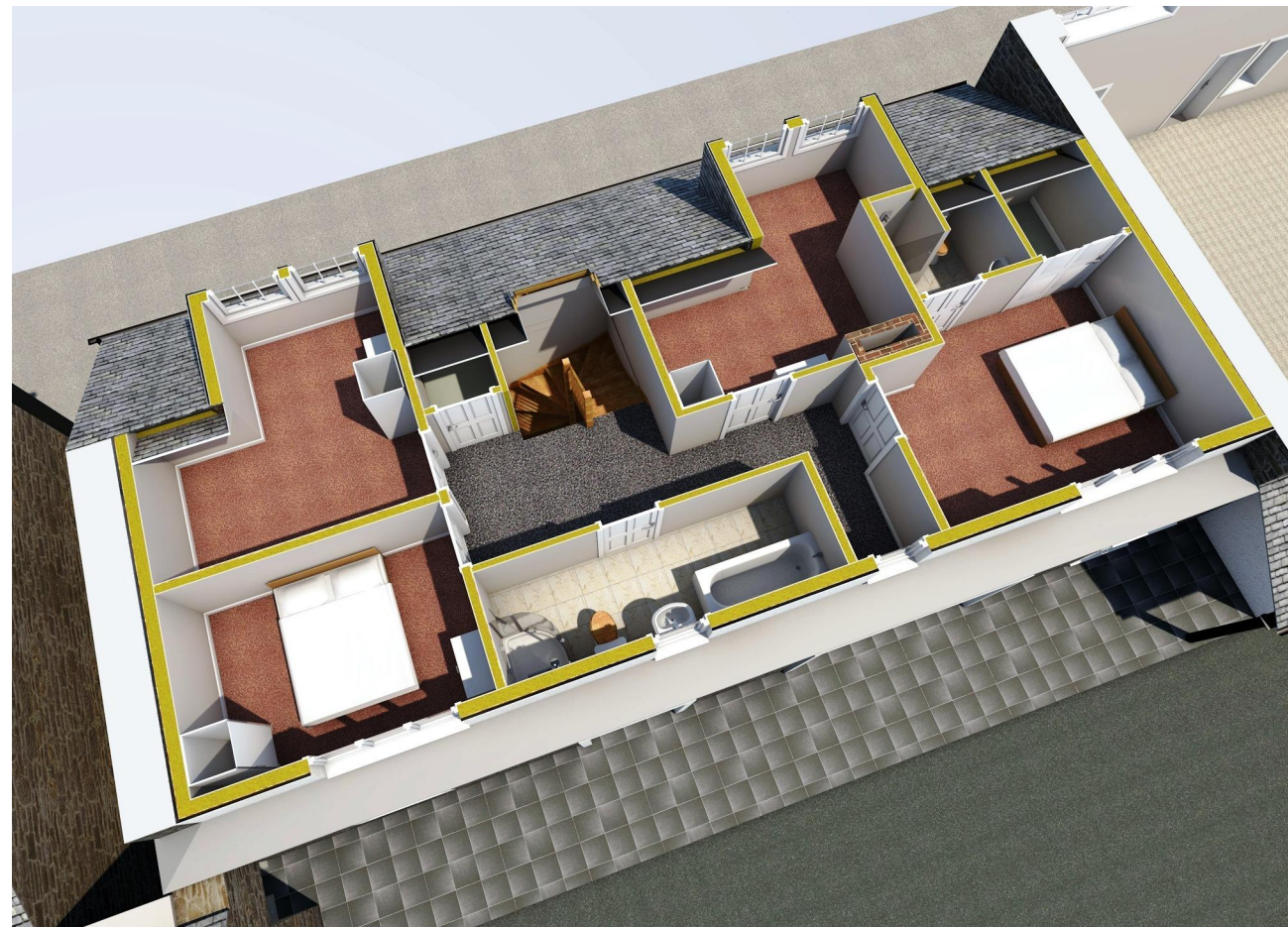
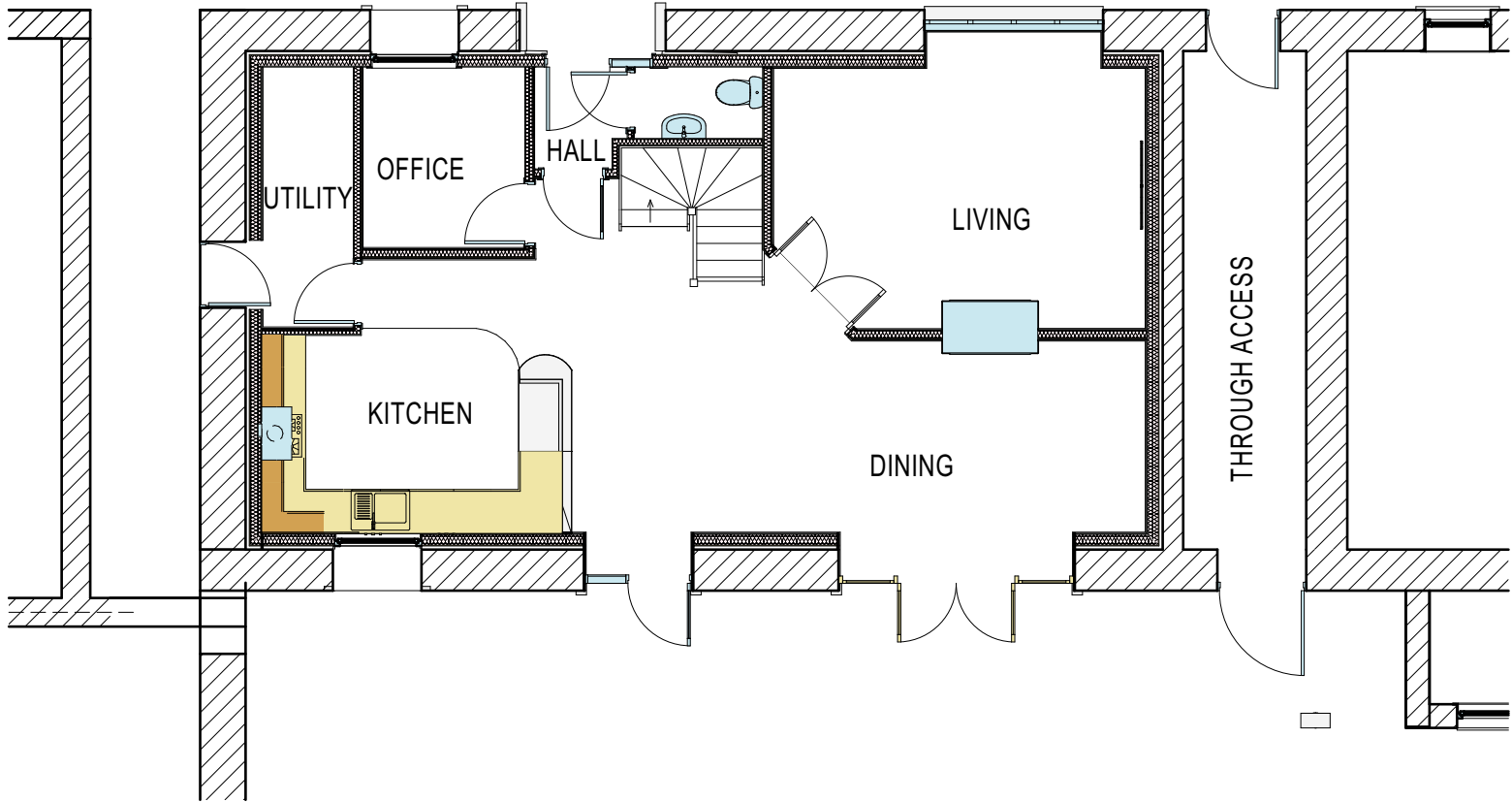
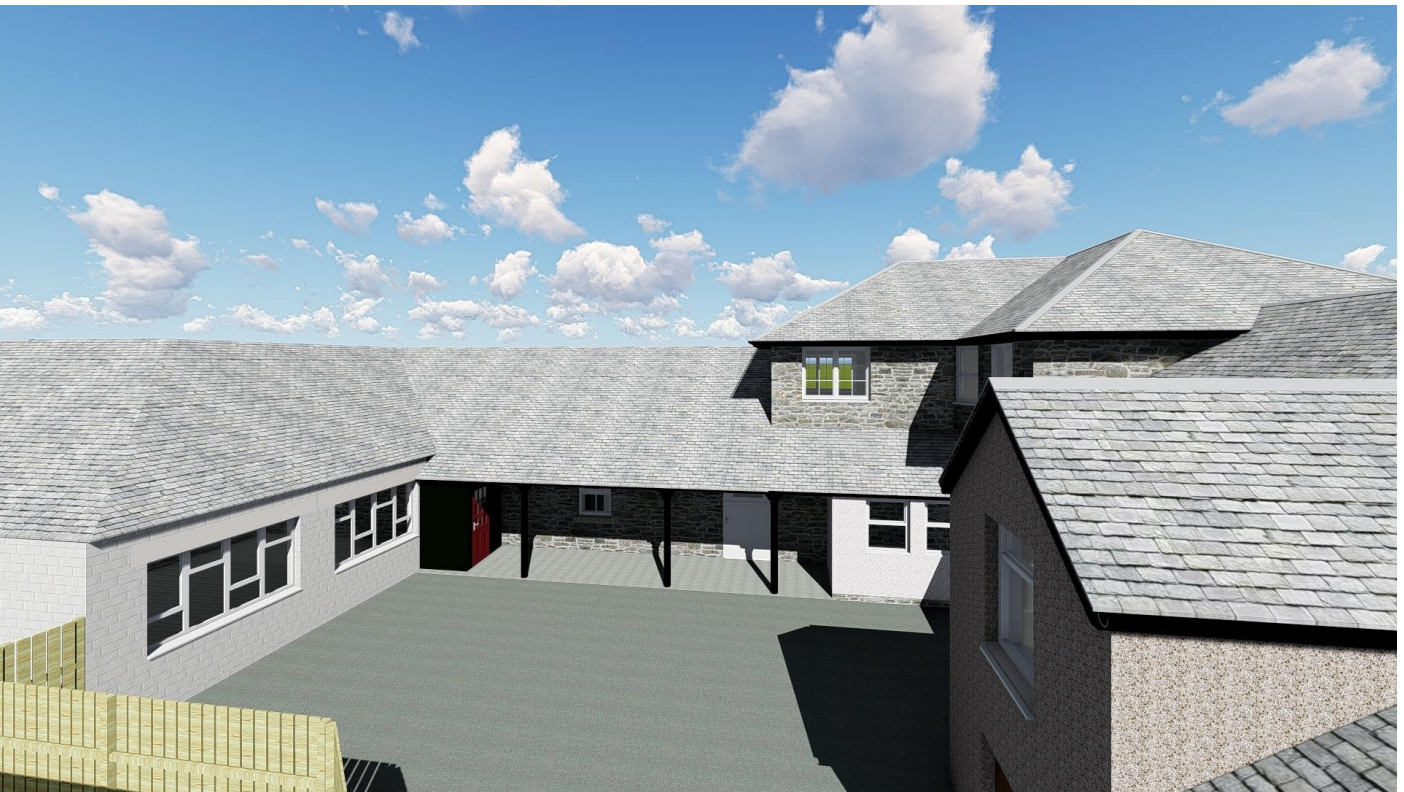
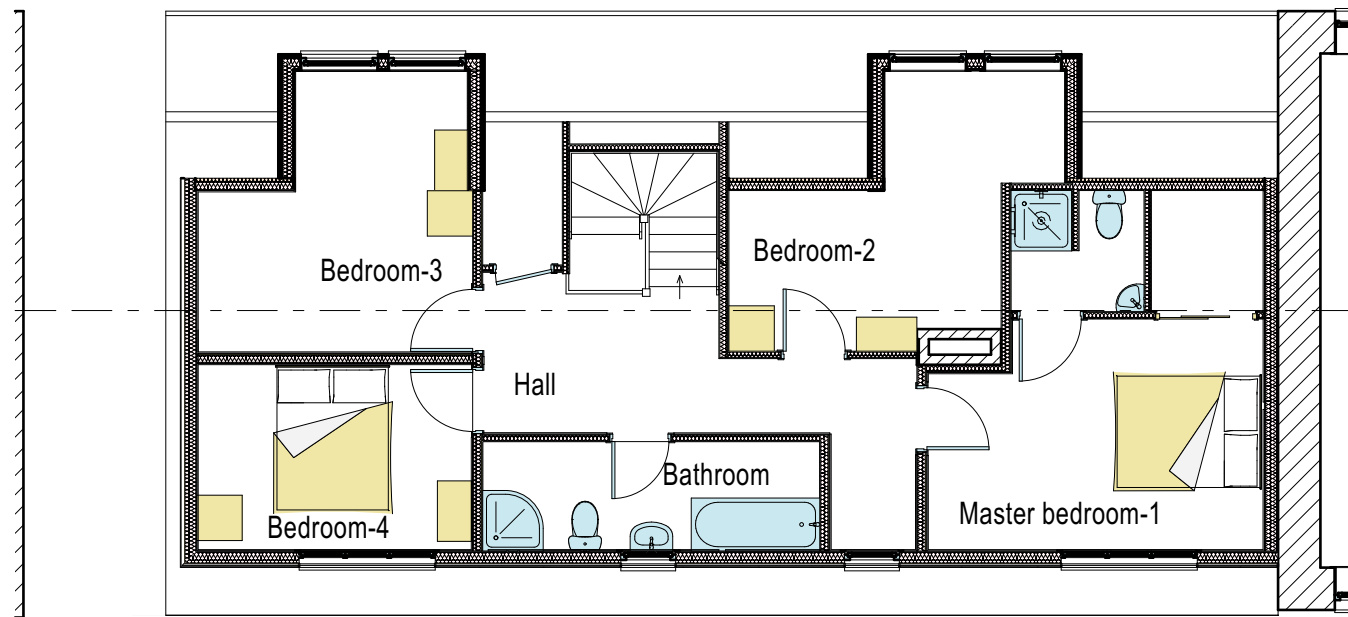
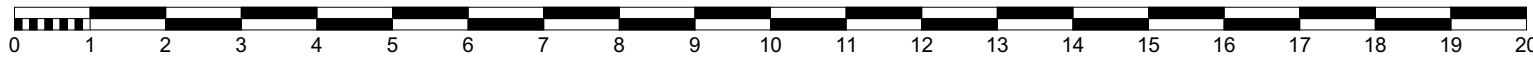
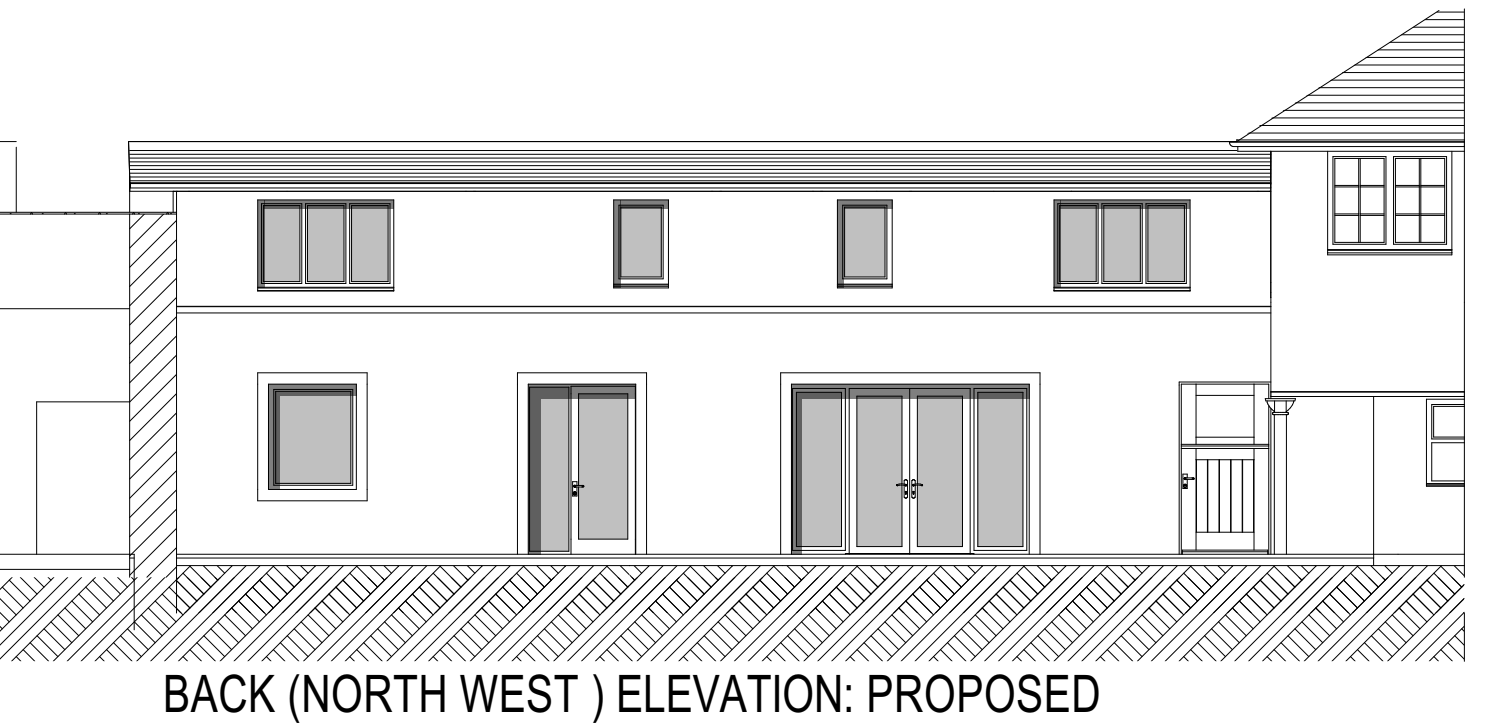
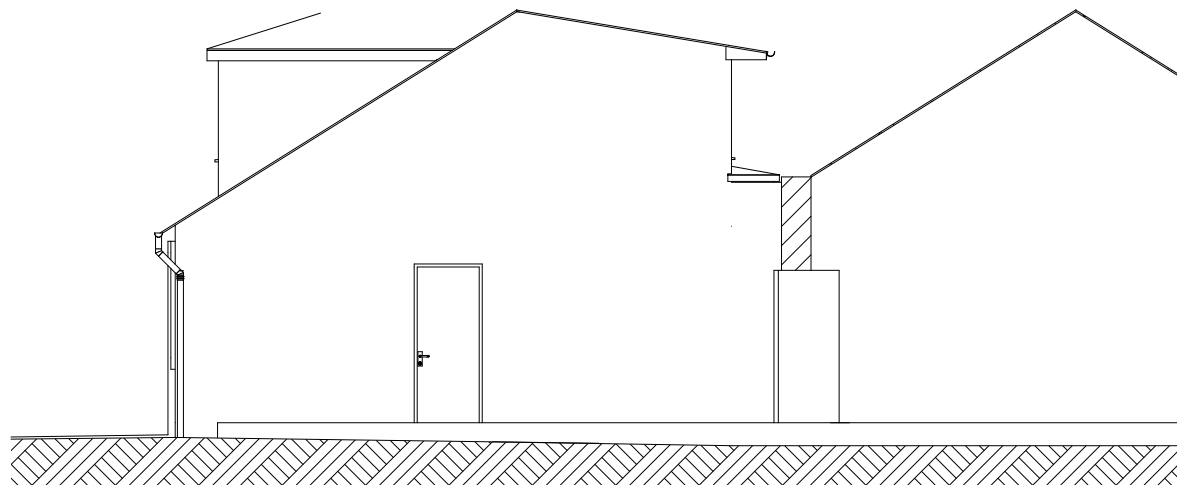
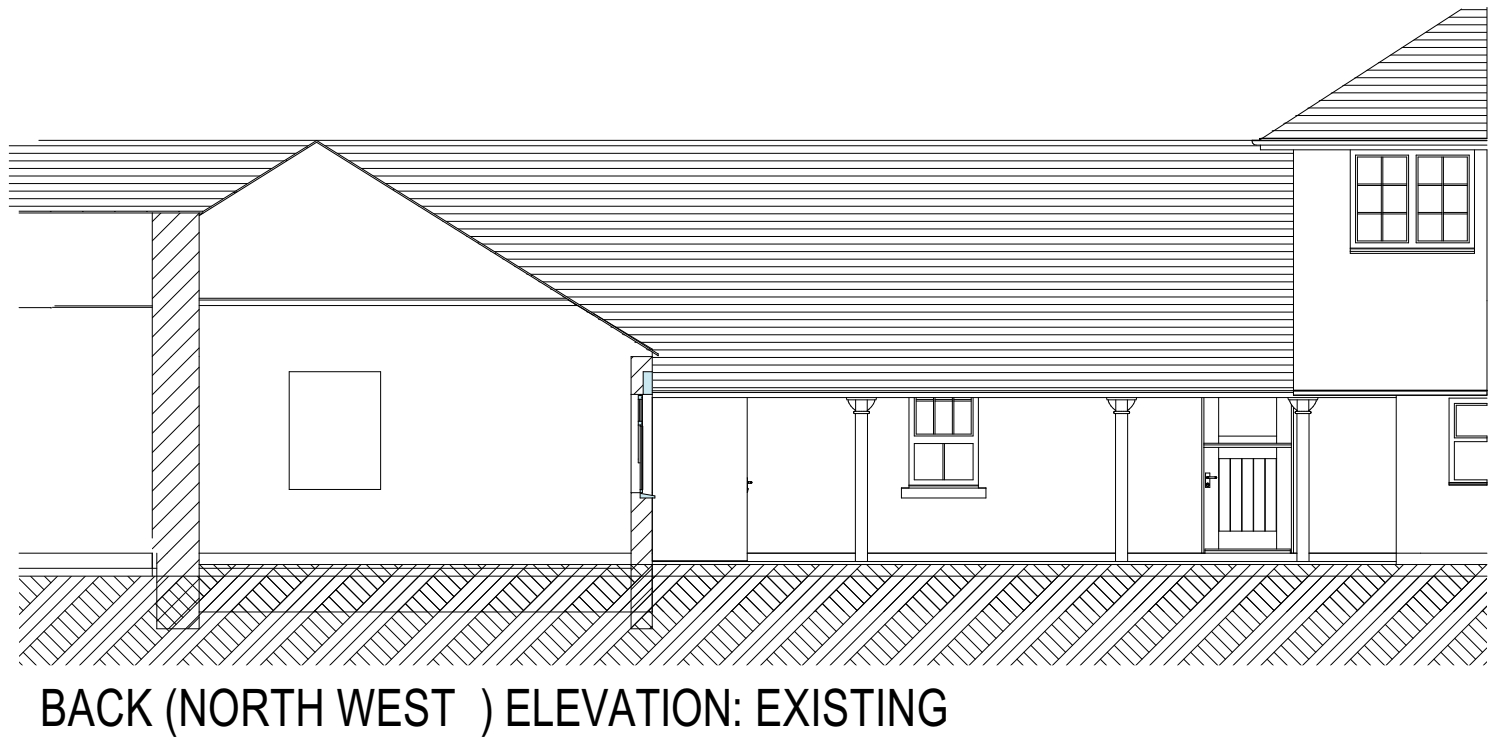
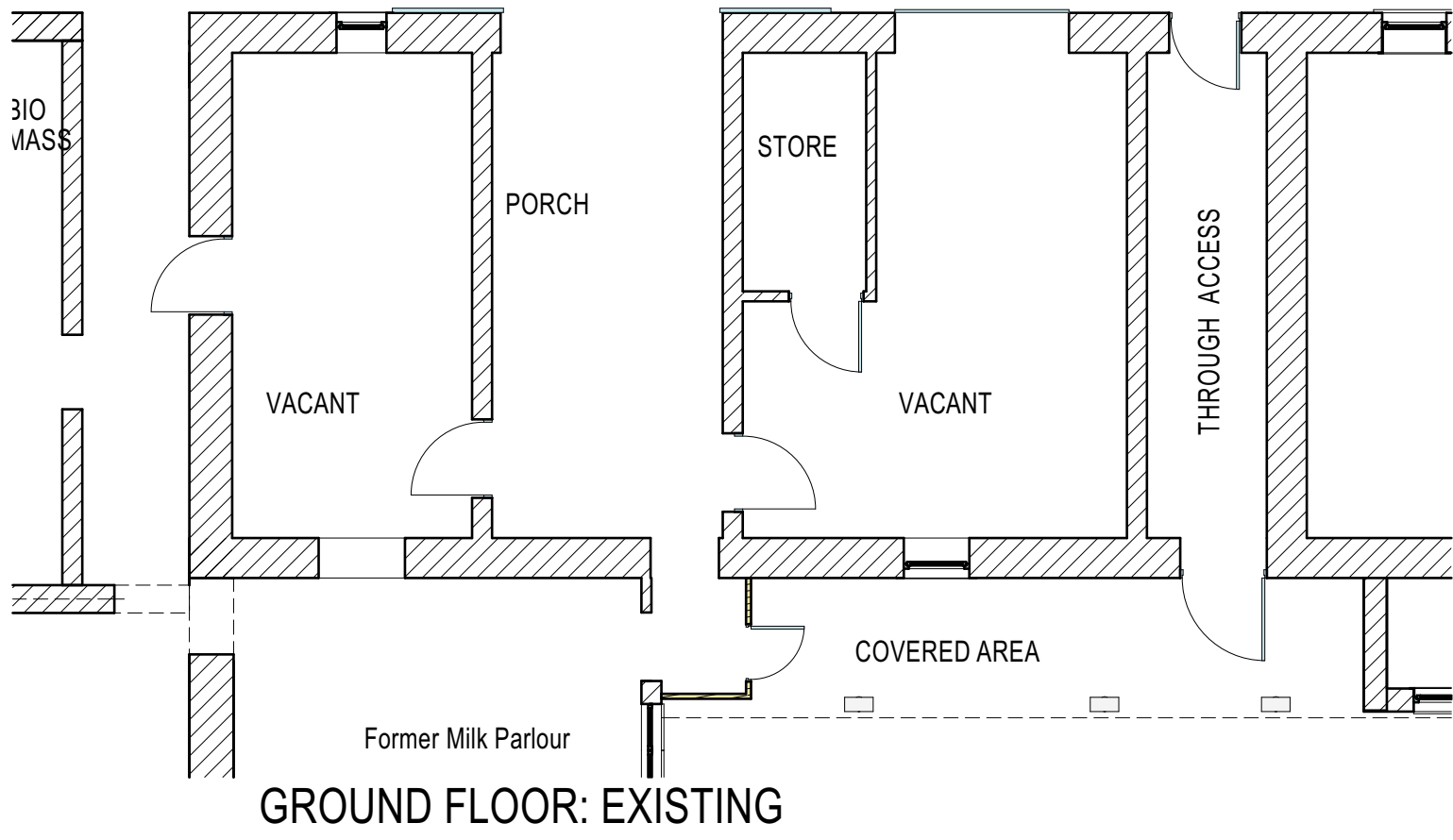
eraldo Architects Limited

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Municipal Buildings Clyde Square Greenock PA15 1LY Tel: 01475 717171 Fax: 01475 712 468 Email: devcont.planning@inverclyde.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100079879-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- ☒ Application for planning permission (including changes of use and surface mineral working).
- ☐ Application for planning permission in principle.
- ☐ Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- ☐ Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Converting existing dilapidated food processing and store, into a family dwelling. inclusive of taking down and removing the former milk parlour, to enhance the amenity of the internal shared courtyard.

Is this a temporary permission? *

☐ Yes ☒ No

If a change of use is to be included in the proposal has it already taken place?

☐ Yes ☒ No

(Answer 'No' if there is no change of use.) *

Has the work already been started and/or completed? *

☒ No ☐ Yes – Started ☐ Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Eraldo Architects Limited		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Eraldo	Building Name:	
Last Name: *	Murphy	Building Number:	71
Telephone Number: *	07982610988	Address 1 (Street): *	Wright Street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Renfrew
Fax Number:		Country: *	Scotland
		Postcode: *	PA4 8AS
Email Address: *	eraldo@ntlworld.com		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	Auchenfoyle Cottage
First Name: *	Darren	Building Number:	
Last Name: *	Black	Address 1 (Street): *	Care of James Black
Company/Organisation		Address 2:	Auchenfoyle Road
Telephone Number: *		Town/City: *	kilmacolm
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	PA13 4TH
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

Inverclyde Council

Full postal address of the site (including postcode where available):

Address 1:

Auchenfoyle Farm

Address 2:

Auchenfoil Road

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

Kilmacolm

Post Code:

PA13 4TH

Please identify/describe the location of the site or sites

Northing

671029

Easting

231203

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

☒ Yes ☐ No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

☒ Meeting ☐ Telephone ☐ Letter ☐ Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

The roof pitch and line should be retained, two dormers would be permitted on the front elevation. The character of the building would have to be retained and fit with adjacent buildings

Title:

Mr

Other title:

First Name:

James

Last Name:

McCall

Correspondence Reference
Number:

Date (dd/mm/yyyy):

04/10/2017

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Site Area

Please state the site area:

170.00

Please state the measurement type used:

☐

Hectares (ha)

☒

Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Current use of building are vacant. Last known use was as food processing and storage, some 40 years ago.

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

☐

Yes

☒

No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? *

☐

Yes

☒

No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

6

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

6

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? *

☒

Yes

☐

No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *

☐

Yes – connecting to public drainage network

☒

No – proposing to make private drainage arrangements

☐

Not Applicable – only arrangements for water supply required

As you have indicated that you are proposing to make private drainage arrangements, please provide further details.

What private arrangements are you proposing? *

☒

New/Altered septic tank.

☐

Treatment/Additional treatment (relates to package sewage treatment plants, or passive sewage treatment such as a reed bed).

☐

Other private drainage arrangement (such as chemical toilets or composting toilets).

What private arrangements are you proposing for the New/Altered septic tank? *

☒

Discharge to land via soakaway.

☐

Discharge to watercourse(s) (including partial soakaway).

☐

Discharge to coastal waters.

Please explain your private drainage arrangements briefly here and show more details on your plans and supporting information: *

A new septic/drainage treatment tank approximately 90 metres from the proposed connection at dwelling. once treated water will discharge to near by and proposed large soakaway. the Tank will serve this only dwelling.

Do your proposals make provision for sustainable drainage of surface water?? *
(e.g. SUDS arrangements) *

☐ Yes ☒ No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

☐ Yes

☒ No, using a private water supply

☐ No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

☐ Yes ☒ No ☐ Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

☐ Yes ☒ No ☐ Don't Know

Trees

Are there any trees on or adjacent to the application site? *

☐ Yes ☒ No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

☐ Yes ☒ No

If Yes or No, please provide further details: * (Max 500 characters)

Storage and collection of normal domestic household waste remain as they are with the other adjacent dwellings. There are no other type of waste envisaged and relating to the proposals

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

☐ Yes ☒ No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

☐ Yes ☒ No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013 *

☐ Yes ☐ No ☒ Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

☐ Yes ☒ No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

☐ Yes ☒ No

Is any of the land part of an agricultural holding? *

☒ Yes ☐ No

Do you have any agricultural tenants? *

☐ Yes ☒ No

Are you able to identify and give appropriate notice to ALL the other owners? *

☒ Yes ☐ No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate B

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

I hereby certify that

(1) - No person other than myself/the applicant was an owner [Note 4] of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application;

or –

(1) - I have/The Applicant has served notice on every person other than myself/the applicant who, at the beginning of the period of 21 days ending with the date of the accompanying application was owner [Note 4] of any part of the land to which the application relates.

Name: Mr James Black

Address: J&J BLACK, 14, Care of David Black, Battery Park, Greenock, Scotland, PA16 7UB

Date of Service of Notice: * 19/12/2017

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding;

or –

(2) - The land or part of the land to which the application relates constitutes or forms part of an agricultural holding and I have/the applicant has served notice on every person other than myself/himself who, at the beginning of the period of 21 days ending with the date of the accompanying application was an agricultural tenant. These persons are:

Name:

Address:

Date of Service of Notice: *

Signed: Eraldo Murphy

On behalf of: Mr Darren Black

Date: 27/12/2017

☒ Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

☐ Yes ☐ No ☒ Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? *

☐ Yes ☐ No ☒ Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

☐ Yes ☐ No ☒ Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

☐ Yes ☐ No ☒ Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

☐ Yes ☐ No ☒ Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

☐ Yes ☐ No ☒ Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- ☒ Site Layout Plan or Block plan.
- ☒ Elevations.
- ☒ Floor plans.
- ☒ Cross sections.
- ☒ Roof plan.
- ☐ Master Plan/Framework Plan.
- ☐ Landscape plan.
- ☒ Photographs and/or photomontages.
- ☐ Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

A copy of an Environmental Statement. *

☐ Yes ☒ N/A

A Design Statement or Design and Access Statement. *

☒ Yes ☐ N/A

A Flood Risk Assessment. *

☐ Yes ☒ N/A

A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). *

☐ Yes ☒ N/A

Drainage/SUDS layout. *

☐ Yes ☒ N/A

A Transport Assessment or Travel Plan

☐ Yes ☒ N/A

Contaminated Land Assessment. *

☐ Yes ☒ N/A

Habitat Survey. *

☐ Yes ☒ N/A

A Processing Agreement. *

☐ Yes ☒ N/A

Other Statements (please specify). (Max 500 characters)

if other statements are required, please advise.

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Eraldo Murphy

Declaration Date: 27/12/2017

Payment Details

Telephone Payment Reference: will call

Created: 27/12/2017 11:52

DECISION NOTICE

Refusal of Planning Permission

Issued under Delegated Powers

Regeneration and Planning
Municipal Buildings
Clyde Square
Greenock PA15 1LY

Planning Ref: 17/0415/IC

Online Ref: 100079879-001

***TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013***

Mr Darren Black
Auchenfoyle Cottage
Auchenfoil Road
KILMACOLM
PA13 4TH

Eraldo Architects Limited
Eraldo Murphy
71 Wright Street
RENFREW
PA4 8AS

With reference to your application dated 27th December 2017 for planning permission under the above mentioned Act and Regulation for the following development:-

Conversion of outbuilding to a dwellinghouse at

Auchenfoyle Farm, Auchenfoil Road, Kilmacolm

Category of Application Local Application Development

The INVERCLYDE COUNCIL in exercise of their powers under the abovementioned Act and Regulation hereby refuse planning permission for the said development.

The reasons for the Council's decision are:-

1. The proposal is contrary to adopted Inverclyde Local Development Plan Policy ENV2 criteria (d) and (i); Policy RES5 criteria (a) and (c); Policy RES7 criteria (a) and (b); and Inverclyde Local Development Proposed Plan Policy 14 criteria (d) and (e); Policy 19 criteria (c), (d) and (e) as it does not comply with the exceptional or mitigating circumstances that would justify this development in the Green Belt, specifically that the proposal does not appropriately retain the character of the original building and wider area in terms of scale and design.
2. The proposal is contrary to the guidance in both adopted and proposed Planning Application Advice Notes (PAANs) 8 on "Siting and Design of New Houses in the Countryside" as the conversion of the outbuilding includes rebuild which does not reflect the original scale, character, proportion, design and architectural integrity of the building and is not subsidiary to the original building.
3. The proposal is contrary to Policy 1 of the Inverclyde Local Development Plan Proposed Plan as it fails to have regard to the six qualities of successful places, in that it does not contribute to the 'distinctive' factor as it does not reflect local architecture and urban form.

The reason why the Council made this decision is explained in the attached Report of Handling.



Healthy
Working
Lives



Dated this 3rd day of August 2018



Head of Regeneration and Planning

- 1 If the applicant is aggrieved by the decision of the Planning Authority to refuse permission for or approval required by condition in respect of the proposed development, or to grant permission or approval subject to conditions, he may seek a review of the decision within three months beginning with the date of this notice. The request for review shall be addressed to The Head of Legal and Administration, Inverclyde Council, Municipal Buildings, Greenock, PA15 1LY.
- 2 If permission to develop land is refused or granted subject to conditions, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he may serve on the planning authority a purchase notice requiring the purchase of his interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997

Refused Plans: Can be viewed Online at <http://planning.inverclyde.gov.uk/Online/>

Drawing No:	Version:	Dated:
AL01-1		27.12.2017
AL01	Rev A	08.01.2018
AL02		

REPORT OF HANDLING

Report By: Carrie Main

Report No: 17/0415/IC

**Local Application
Development**

**Contact
Officer:** 01475 712412

Date: 03 August 2018

Subject: Conversion of outbuilding to a dwellinghouse at
Auchenfoyle Farm, Auchenfoil Road, Kilmacolm

SITE DESCRIPTION

The application site comprises of an approximately 0.017 hectare area of ground forming part of Auchenfoyle Farm on Auchenfoil Road, approximately 6km north-west of Kilmacolm located on farmland, in the countryside between Port Glasgow and Kilmacolm, accessed from the B788. The wider farm comprises of a traditional farm steading, with a main farmhouse with courtyard behind, typical of those found in rural areas within the West of Scotland. Four additional dwellings are located to the rear within the courtyard, which were formed following the conversion of the derelict farm buildings, granted planning permission in March 2002.

The application site comprises of single storey outhouses which are connected to the eastern side of the main farmhouse. These buildings are subdivided internally by brick walls and were previously used as a milking parlour and barn and are now derelict. Following receipt of a structural report, it was identified that the buildings' external stone built walls are considered to be in reasonable condition, yet in need of masonry repairs and maintenance. A similar position was established for the internal walls and ground floor slab. The traditional slate roof is considered to be in very poor condition and no longer feasible. To the front elevation, the outhouses feature a series of openings, some of which include metal sliding doors. To the rear, a roof overhang exists supported by steel posts, which lead onto the back yard/courtyard area.

PROPOSAL

The applicant seeks planning permission for alterations to and the conversion of the agricultural outbuilding, together with external works to build upwards, to create a two storey dwellinghouse. The floor plans indicate that the dwelling will feature four bedrooms and a bathroom to the upper level and a kitchen, dining, living, utility rooms and an office to the ground level.

The works also include the taking down of the milking parlour element of the built form to expand upon the shared amenity space within the rear courtyard area.

The resultant dwelling will include a centrally located door to the front elevation with two windows on either side, utilising the existing openings. To the upper level, two pitched roof dormers and a rooflight are proposed. To the rear elevation, the lower level will include a series of sliding glazed doors which lead onto the courtyard area. To the upper level, an additional storey will be created built up from the existing building. It will include a flat roof and sit slightly subordinate to the eaves of the main farmhouse building. Externally, the new dwelling will utilise and match the existing

materials, matching the main farmhouse, with the exception of the new build upper storey level to the rear which appears to be finished in a light coloured render.

DEVELOPMENT PLAN POLICIES

Policy SDS5 Development within the Urban Area

There will be a preference for all appropriate new development to be located on previously used (brownfield) land within the urban settlements, as identified on the Proposals Map.

Policy SDS8 - Green Belt and the Countryside

There will be a presumption against the spread of the built-up area into the designated Green Belt and careful management to prevent sporadic development in the designated Countryside, as identified on the Proposals Map.

Policy RES5 - Proposals for Changes to Properties for Residential Use

Proposals for the change of use, sub-division or conversion to properties to create new additional dwelling units, and for the alteration or extension to residential properties, will be assessed against and have to satisfy where appropriate, the following criteria:

- (a) the character and amenity of neighbouring properties;
- (b) impact on the streetscape;
- (c) impact on the character of the existing property;
- (d) accordance with the Council's adopted roads guidance; and
having regard to Supplementary Guidance on Planning Application Advice Notes.

Policy RES7- Residential Development in the Green Belt and Countryside

The development of new dwellings in the Green Belt and Countryside, identified on the Proposals Map, will be supported only if the proposal is for either

- (1) a single or small group of dwellings not adjoining the urban area; or
- (2) the conversion of redundant non-residential buildings, that are for the most part intact and capable of conversion for residential use without recourse to substantial demolition and rebuilding.

In addition, all proposals must fall within one of the following categories:

- (a) demolition and replacement of habitable dwellings which cannot otherwise be brought up to acceptable building standards and where the proposed building reflects the scale of the existing building and is sympathetic to the character, pattern of development and appearance of the area; or
- (b) sub-division of an existing dwelling house(s) for the provision of one or more additional units where any new build element is clearly ancillary to the completed building; or
- (c) conversion of redundant, non-residential buildings, where the proposal requires to be supported by proof of the building's redundancy to demonstrate that it no longer meets its original purpose, as well as a structural survey indicating that the building may be utilised for the proposed use substantially in its current form, and that any proposed extensions to existing building(s) or ancillary new build element will need to be proven to be required to make the development financially viable, with details of costs to be submitted; or

(d) is justified by the operational needs of farms or other businesses or activities which are inherently rural in nature and where the applicant will be required to make a land management or business case to the satisfaction of the Council: or

(e) is part of an integrated project with significant employment and/or economic benefits which is in accordance with other policies of the Local Development Plan and where the Council is satisfied that the dwelling(s) are essential to ensure the implementation of the whole development and that such considerations are of sufficient weight to merit support.

Further detailed policy relating to this type of development is contained in the Supplementary Guidance on Planning Application Advice Notes

Policy ENV2 - Assessing Development Proposals in the Green Belt and the Countryside

Development in the Green Belt will only be considered favourably in exceptional or mitigating circumstances, while development in the Countryside will only be considered favourably where it can be supported with reference to the following criteria:

(a) it is required for the purposes of agriculture, forestry or, where appropriate, renewable energy (refer Policy INF1); or

(b) it is a recreation, leisure or tourism proposal which is appropriate for the countryside and has an economic, social and community benefit (refer to Policy ECN6); or

(c) there is a specific locational requirement for the use and it cannot be accommodated on an alternative site (refer Policies INF3 and INF7); or

(d) it entails appropriate re-use of redundant habitable buildings, the retention of which is desirable for either their historic interest or architectural character or which form part of an establishment or institution standing in extensive grounds (refer to Policy RES7); and

(e) it does not adversely impact on the natural and built heritage, and environmental resources;

(f) it does not adversely impact on landscape character;

(g) it does not adversely impact on prime quality agricultural land;

(h) it does not adversely impact on peat land with a high value as a carbon store;

(i) it does not adversely affect the visual amenity of the area and is capable of satisfactory mitigation;

(j) there is a need for additional land for development purposes, provided it takes account of the requirements of the Strategic Development Plan; and

(k) it has regard to Supplementary Guidance on Planning Application Advice Notes.

Planning Application Advice Note (PAAN) 8 on "Siting and Design of New Houses in the Countryside" applies.

PROPOSED DEVELOPMENT PLAN POLICIES

Policy 1 - Creating Successful Places

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing development proposals, consideration must be given to the factors set out in Figure 3.

Where relevant, applications will also be assessed against the Planning Application Advice Notes Supplementary Guidance.

Policy 14 - Green Belt and Countryside

Development in the Green Belt and Countryside will only be permitted if it is appropriately designed, located, and landscaped, and is associated with:

- a) agriculture, horticulture, woodland or forestry;
- b) a tourism or recreational use that requires a countryside location;
- c) infrastructure with a specific locational need;
- d) the appropriate re-use of a redundant stone or brick building, the retention of which is desirable for its historic interest or architectural character, subject to that interest or character being retained; or
- e) intensification (including extensions and outbuildings) of an existing use, which is within the curtilage of the associated use and is of an appropriate scale and form.

Proposals associated with the uses set out in criteria a)-c) must provide justification as to why the development is required at the proposed location.

Policy 19 - Individual and Small Scale Housing Development in the Green Belt and Countryside

Proposals for individual and small scale housing development in the Green Belt and Countryside will only be supported in the following circumstances:

- o where the dwelling(s) is justified by the operational needs of a farm or other viable business which is inherently rural in nature and has been in operation for at least 5 years;
- o where the dwelling(s) is an integral and ancillary part of a development that would bring significant economic benefits to Inverclyde;
- o demolition and replacement of a habitable dwelling which cannot otherwise be brought up to current building standards, and where the proposed dwelling is similar in scale to the existing dwelling;
- o sub-division of an existing dwelling to create one or more additional dwellings, but only where any extensions are clearly ancillary to the existing building; or
- o conversion of redundant stone or brick built non-residential buildings, where the proposal is supported by proof that the existing building is no longer needed for its original purpose, and a structural survey indicating that the building can be converted in its current form, with any new build element clearly ancillary to the existing building.

In all instances, dwellings are required to be designed and located to respect their Green Belt/Countryside location.

Proposed Planning Application Advice Note (PAAN) 8 on "Siting and Design of New Houses in the Countryside" applies.

CONSULTATIONS

Head of Environmental and Commercial Services –

The following comments were received:

1. The conversion of the outbuilding will provide a 4 bedroom dwellinghouse. This requires the provision of three parking spaces, to be in accordance with the National Guidelines. The proposed site can accommodate 6 parked vehicles. This includes provision for the other dwellinghouse on the farm. The houses will accommodate staff on the farm and therefore the parking provision is acceptable.

2. Drainage details to be submitted for approval.
3. Confirmation that the septic tank is in accordance with SEPA's regulations.

Head of Safer and Inclusive Communities –

The following conditions are recommended:

1. That prior to the start of development, details of a survey for the presence of Japanese Knotweed shall be submitted to and approved in writing by the Planning Authority and that, for the avoidance of doubt; this shall contain a methodology and treatment statement where any is found. Development shall not proceed until appropriate control measures are implemented. Any significant variation to the treatment methodology shall be submitted for approval, in writing by the Planning Authority prior to implementation.

Reason: To help arrest the spread of Japanese Knotweed in the interests of environmental protection.
2. That the development shall not commence until an Environmental Investigation and Risk Assessment, including any necessary Remediation Scheme with timescale for implementation, of all pollutant linkages has been submitted to and approved, in writing by the Planning Authority. The investigations and assessment shall be site-specific and completed in accordance with current codes of practice. The submission shall also include a Verification Plan. Any subsequent modifications to the Remediation Scheme and Verification Plan must be approved in writing by the Planning Authority prior to implementation.

Reason: To satisfactorily address potential contamination issues in the interests of human health and environmental safety.
3. That before the development hereby permitted is occupied the applicant shall submit a report for approval, in writing by the Planning Authority, confirming that the works have been completed in accordance with the agreed Remediation Scheme and supply information as agreed in the Verification Plan. This report shall demonstrate that no pollutant linkages remain or are likely to occur and include (but not limited to) a collation of verification/validation certificates, analysis information, remediation lifespan, maintenance/aftercare information and details of all materials imported onto the site as fill or landscaping material. The details of such materials shall include information of the material source, volume, intended use and chemical quality with plans delineating placement and thickness.

Reason: To ensure contamination is not imported to the site and confirm successful completion of remediation measures in the interest of human health and environmental safety.
4. That the presence of any previously unrecorded contamination or variation to anticipated ground conditions that becomes evident during site works shall be brought to the attention of the Planning Authority and the Remediation Scheme shall not be implemented unless it has been submitted to and approved, in writing by the Planning Authority.

Reason: To ensure that all contamination issues are recorded and dealt with appropriately.
5. The applicant shall submit to the Planning Authority a detailed specification of the containers to be used to store waste materials and recyclable materials produced on the premises as well as specific details of the areas where such containers are to be located. The use of the development shall not commence until the above details are approved in writing by the Planning Authority and the equipment and any structural changes are in place.

6. All external lighting on the application site should comply with the Scottish Government Guidance Note "Controlling Light Pollution and Reducing Lighting Energy Consumption".

Reason: To protect the amenity of the immediate area, the creation of nuisance due to light pollution and to support the reduction of energy consumption.

Greenspace Manager –

This will require a bat survey, for the following reasons;

- The nature of the building as a stone, slate roofed agricultural building. It is even more compelling that is adjacent to other similar buildings.
- The proximity of mature broadleaved trees.
- The proximity to a watercourse.

These are all standard triggers within the Bat Conservation Trust Good Practice Guidelines, and this approach is consistent with other developments in the locality. I would be looking for a dawn and dusk survey which means waiting until the bat activity season, probably from April onwards.

Additionally, the disturbance of nesting birds during any construction phase is an offence. I mention this because the site looks especially suitable for swallows.

PUBLICITY

The application was advertised in the Greenock Telegraph on 16th February 2018 as there are no premises on neighbouring land.

SITE NOTICES

The nature of the proposal did not require a site notice.

PUBLIC PARTICIPATION

The application was the subject of neighbour notification. One representation was received from Kilmacolm Civic Trust stating no objection to the proposal.

ASSESSMENT

The material considerations in the determination of the application are the adopted and proposed Inverclyde Local Development Plans, both adopted and proposed Planning Application Advice Notes (PAANs) 8 on "Siting and Design of New Houses in the Countryside", Scottish Planning Policy (SPP), National Planning Framework (NPF) 3, the consultation responses, the representation received and the applicant's supporting documentation.

One of the key principles of Scottish Planning Policy (SPP) and the National Planning Framework (NPF) 3 is providing successful, sustainable places, in which the right development is directed to the right place. Under 'promoting rural development' it is noted that where new development can often help to sustain fragile communities, plans and decision-making should generally take account of environmental protection policies and address issues of location, siting, design and environmental impact.

The Inverclyde Local Development Plans locate the application site within the Green Belt and the Countryside under adopted Plan Policy ENV2 and proposed Plan Policies 14 and 19. These policies generally oppose development in the Green Belt unless the proposal complies with a number of circumstances/ criteria relating to its specific locational requirement in meeting rural needs, it entails the appropriate re-use of a redundant habitable building without compromising

historic or architectural character and it does not adversely impact on the natural and built heritage, landscape character, prime agricultural land, peat land or adversely affect the visual amenity of the area. In order to establish whether any such circumstances apply, referral is required particularly to Policy RES7 and Policy 19. Policy SDS5, in line with SPP, sets an overarching principle for the direction of new development to be located on previously used (brownfield) land within urban settlements. Policy SDS8 also sets a presumption against the spread of the built-up area into the designated Green Belt with careful management required to prevent sporadic development. Both adopted and proposed PAAN8s provide specific advice in relation to the siting and design of new houses in the Green Belt and the countryside. Policy 1 is also relevant in assessing whether development proposals contribute to the six qualities of successful places.

The nature of the proposal is the conversion an existing outbuilding which has fallen out of active agricultural use and lies adjacent to a small group of dwellings. It must therefore be noted that the proposal is not of such a significant scale which would lead to isolated or sporadic development into the Green Belt. It also alleviates concerns of the impact on landscape character, quality agricultural land and peatland. It therefore rests to consider whether the proposal favourably meets all other exceptional or mitigating circumstances, in which development in the Green Belt and countryside can be supported. A key consideration will be whether the proposal enables the retention of the original form of building and the wider farm in the interests of the overall character of the rural area.

In first considering the locational requirement of the proposed dwelling, I am content that the use of the dwelling is related to supporting the existing farm and thus, sufficiently satisfies criterion (c) of Policies ENV2 and 14 and criterion (d) of Policy RES7. A structural survey submitted concludes that the buildings' stone perimeter walls can be feasibly used for redevelopment. It is acknowledged that the roof has reached the end of its life and requires to be replaced and thus, introduces an element of demolition and rebuilding. I am however happy that in principle this remains in the spirit of criterion (d) of Policy ENV2, Policy RES7 and both PAAN8s. However, it still remains to be considered whether the new build element is appropriate in terms of scale and design and is sympathetic to the character, pattern of development and appearance of the area.

In considering design, the new roof incorporates two pitched roof dormer windows and a rooflight to the front elevation. This alteration to the original building is considered to form a subtle addition, which is sympathetic to the existing building and pattern of development in terms of scale and design. To the rear, a prominent second storey, with a shallow pitched roof, extends across the entire width of the original building with the existing external walls being built up accordingly. This presents a conflict with the policy criteria as the new build element to the rear is not considered to be ancillary to the original building, thus, I am not satisfied that the proposal presents a development which reinstates the building in the existing form and scale. Within the courtyard the section of shallow pitch roof will be viewed as flat. This is neither traditional in character nor reflective of any of the buildings surrounding. This creates an alien design feature, which will threaten the scale, design and overall traditional rural characteristics of the existing building and wider steading. The proposal is therefore contrary to Policy RES7 (criteria (a) and (b)) and Policy 19 (criteria (c) and (d)) and Policy ENV2 (criteria (d) and (i)). Furthermore, it is not in accordance with the guidance provided within both PAAN8s which advise that in the conversion of buildings to residential use substantial rebuilding will not be acceptable, any extension shall be subsidiary to the original building and in terms of siting and design of new roof a minimum roof pitch of 35 degrees should be achieved. With reference to Policy 1, I consider the proposal to enable adaptability of the building to ensure it does not remain unused. Yet, I do not consider the proposal's form and design to reflect the character of the existing building.

During the assessment of the application, the applicant/agent was given the opportunity to amend the design of the proposal to the rear elevation following on from discussion regarding the above points and non-compliance with the relevant plan policies and guidance. The applicant however requested that the application be determined as it stands currently.

With respect to all other material considerations, I note the consultation replies and outstanding matters relating to drainage, the disturbance of nesting birds, Japanese Knotweed and contaminated land can be addressed by conditions. Following the consultation from the Greenspace Manager, the applicant has submitted a bat activity survey. The findings revealed the presence of bats roosting in the farmhouse roof and subsequently, a licence, issued by Scottish Natural Heritage will be required before any exclusion were to take place. Once received, this would not present an impediment to development. Overall, it is determined that none of these additional requirements carry sufficient weight for me to conclude that planning permission should be granted given my conclusions in relation to non-compliance with Policies ENV2, RES5, RES7, 14, 19 and guidance within both PAAN8s.

I am therefore satisfied that a departure from the Inverclyde Local Development Plan and associated guidance cannot be justified in this instance and that planning permission should therefore be refused.

RECOMMENDATION

That the application be refused.

Reasons

1. The proposal is contrary to adopted Inverclyde Local Development Plan Policy ENV2 criteria (d) and (i); Policy RES5 criteria (a) and (c); Policy RES7 criteria (a) and (b); and Inverclyde Local Development Proposed Plan Policy 14 criteria (d) and (e); Policy 19 criteria (c), (d) and (e) as it does not comply with the exceptional or mitigating circumstances that would justify this development in the Green Belt, specifically that the proposal does not appropriately retain the character of the original building and wider area in terms of scale and design.
2. The proposal is contrary to the guidance in both adopted and proposed Planning Application Advice Notes (PAANs) 8 on "Siting and Design of New Houses in the Countryside" as the conversion of the outbuilding includes rebuild which does not reflect the original scale, character, proportion, design and architectural integrity of the building and is not subsidiary to the original building.
3. The proposal is contrary to Policy 1 of the Inverclyde Local Development Plan Proposed Plan as it fails to have regard to the six qualities of successful places, in that it does not contribute to the 'distinctive' factor as it does not reflect local architecture and urban form.

Signed:



Carrie Main
Case Officer



Stuart Jamieson
Head of Regeneration and Planning

**12. SUGGESTED CONDITIONS SHOULD PLANNING
PERMISSION BE GRANTED ON REVIEW**

**CONVERSION OF OUTBUILDING TO A DWELLINGHOUSE AT
AUCHENFOYLE FARM, AUCHENFOIL ROAD, KILMACOLM (17/0415/IC)**

Suggested conditions should planning permission be granted on review

Conditions:

1. The prior to their use samples of all external materials to be used in construction be submitted to and approved in writing by the Planning Authority. Works shall then proceed as approved unless an alternative is agreed in writing by the Planning Authority.
2. That prior to the commencement of work on site full drainage details shall be submitted and approved by the Planning Authority. Development shall then proceed as approved unless any alternative agreed in writing by the Planning Authority.
3. The applicant shall submit to the Planning Authority a detailed specification of the containers to be used to store waste materials and recyclable materials produced on the premises as well as specific details of the areas where such containers are to be located. The use of the development shall not commence until the above details are approved in writing by the Planning Authority and the equipment and any structural changes are in place.
4. That prior to the start of development, details of a survey for the presence of Japanese Knotweed shall be submitted to and approved in writing by the Planning Authority and that, for the avoidance of doubt; this shall contain a methodology and treatment statement where any is found. Development shall not proceed until appropriate control measures are implemented. Any significant variation to the treatment methodology shall be submitted for approval, in writing by the Planning Authority prior to implementation.
5. That the development shall not commence until an Environmental Investigation and Risk Assessment, including any necessary Remediation Scheme with timescale for implementation, of all pollutant linkages has been submitted to and approved, in writing by the Planning Authority. The investigations and assessment shall be site-specific and completed in accordance with current codes of practice. The submission shall also include a Verification Plan. Any subsequent modifications to the Remediation Scheme and Verification Plan must be approved in writing by the Planning Authority prior to implementation.
6. That before the development hereby permitted is occupied the applicant shall submit a report for approval, in writing by the Planning Authority, confirming that the works have been completed in accordance with the agreed Remediation Scheme and supply information as agreed in the Verification Plan. This report shall demonstrate that no pollutant linkages remain or are likely to occur and include (but not limited to) a collation of verification/validation certificates, analysis information, remediation lifespan, maintenance/aftercare information and details of all materials imported onto the site as fill or landscaping material. The details of such materials shall include information of the material source, volume, intended use and chemical quality with plans delineating placement and thickness.

7. That the presence of any previously unrecorded contamination or variation to anticipated ground conditions that becomes evident during site works shall be brought to the attention of the Planning Authority and the Remediation Scheme shall not be implemented unless it has been submitted to and approved, in writing by the Planning Authority.

Reasons:

1. In the interests of visual amenity.
2. To ensure drainage provision is appropriately managed.
3. To protect the amenity of the immediate area, prevent the creation of nuisance due to odours, insects, rodents or birds.
4. To help arrest the spread of Japanese Knotweed in the interests of environmental protection.
5. To satisfactorily address potential contamination issues in the interests of human health and environmental safety.
6. To ensure contamination is not imported to the site and confirm successful completion of remediation measures in the interest of human health and environmental safety.
7. To ensure that all contamination issues are recorded and dealt with appropriately.

Informatives

Reason:

Light Pollution

All external lighting on the application site should comply with the Scottish Government Guidance Note 'Controlling Light Pollution and Reducing Lighting Energy Consumption' to protect the amenity of the immediate area, the creation of nuisance due to light pollution and to support the reduction of energy consumption.

Septic Tanks & Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter

Bats

As the survey results indicated roosting bats are present within the site. As it is desired to exclude bats from the building, a licence, issued by Scottish Natural Heritage, will be required before any exclusion can take place. Information on how to apply for such a licence can be found at <http://www.snh.gov.uk/protecting-scotlands-nature/species-licensing/mammal-licensing/bats-licensing/>.

Nesting Birds

Construction/demolition works have the potential to disturb nesting birds or damage their nest sites, and as such, checks for ground nesting birds should be made prior to the commencement of development if this coincides with the main bird breeding season (April - July inclusive). All wild bird nests are protected from damage, destruction, interference and obstruction under the Wildlife and Countryside Act 1981 (as amended). Some birds (listed on schedule 1 of the Wildlife and Countryside Act) have heightened protection where it is also an offence to disturb these birds while they are in or around the nest. For information please see: www.snh.org.uk/publications/online/wildlife/law/birdseggs.asp